

**BOARD OF ZONING APPEALS  
REGULAR SESSION AGENDA**

**April 8, 2026**

**5:00 pm**

**Red Bank Court Room**

**3117 Dayton Boulevard**

**I. CALL TO ORDER**

**II. ROLL CALL**

1. Chad Bullard
2. Sonja Millard
3. Pete Phillips
4. Rufus Smith
5. Karen Ziv

**III. CONSIDERATION OF THE MINUTES**

1. October 1, 2025

**VI. NEW BUSINESS**

1. 520 Gadd Road – request for access easement variance
  - a. Applicant presentation
  - b. Staff presentation
  - c. Public comment
  - d. Discussion/vote

**VII. UNFINISHED BUSINESS**

**VIII. OTHER BUSINESS**

**IX. ADJOURNMENT**

**BOARD OF ZONING APPEALS  
REGULAR SESSION AGENDA  
October 1, 2025 5:00 pm  
Red Bank Court Room  
3117 Dayton Boulevard**

**I. CALL TO ORDER**

**II. ROLL CALL**

1. Chad Bullard - present
2. Sonja Millard – present
3. Pete Phillips – present
4. Rufus Smith - present
5. Karen Ziv - present

**III. CONSIDERATION OF THE MINUTES**

1. September 9, 2025 – Sonja Millard motioned to approve the minutes, Karen Ziv seconded, the motion carried unanimously.

**IV. NEW BUSINESS**

1. 1109 Dayton Boulevard – request for minimum square footage variance
  - a. Preston Quirk, project architect, presented the request for 1,234 square foot residential units. Because the comprehensive plan designates the lot as mixed residential, the smaller units meet the needs of the community’s housing needs: smaller dwelling units and a variety of housing options in the housing market. There are multiple references in the comprehensive plan to the zoning codes restrictions on development that prevents the housing market from serving the community needs
  - b. Michael Pham, city planner, presented the staff recommendation to approve the variance request because of the conflict between the 2016 zoning ordinance and the 2045 comprehensive plan. Based on the community’s needs and expectations of future development, the development of smaller and less common housing units such as apartments, houses, and townhomes, is reasonable and expected.
  - c. Chad Bullard motioned to approve the variance request, Karen Ziv seconded, the motion passed unanimously.

**V. ADJOURNMENT**

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Chairperson

## **Board of Zoning Appeals Regular Session 04-08-2026**

Request: Variance for access easements to four (4) lots

Applicant: Clay Deloach, with permission from the property owner

### Purpose

The Red Bank subdivision regulations(2021), require all lots to have either frontage on an existing city-accepted and publicly maintained street or road, or an approved easement that meets subdivision standards. The applicant is proposing a subdivision of one lot into four (4) lots that would each have frontage on Gadd Road. However, they are proposing vehicular access from Royal Crest Drive in order to avoid steep slope disturbance at the Gadd Road frontage.

### Staff Review

The subdivision regulations restrict access easements to a maximum of three (3) lots. In the case of 520 Gadd Road, the construction of two adjacent easements to comply with subdivision regulations would incur greater impact on the steep slope areas of the site and unnecessarily increase the amount of impervious surface on the site. The alternative design of one ingress/egress easement to four lots would simplify the infrastructure design and result in more legible, safer ingress/egress for residents and emergency vehicles. Staff recommend approval of the variance request.



RaganSmith  
a PAPE-DAWSON company

# 520 GADD ROAD

FOR  
CLAY DELOACH

RED BANK, TENNESSEE

Scale: 1"=30'

Date: 01/22/2026

Approved By: XXX

Revisions:

Drawing Title:

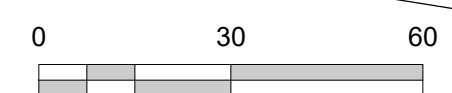
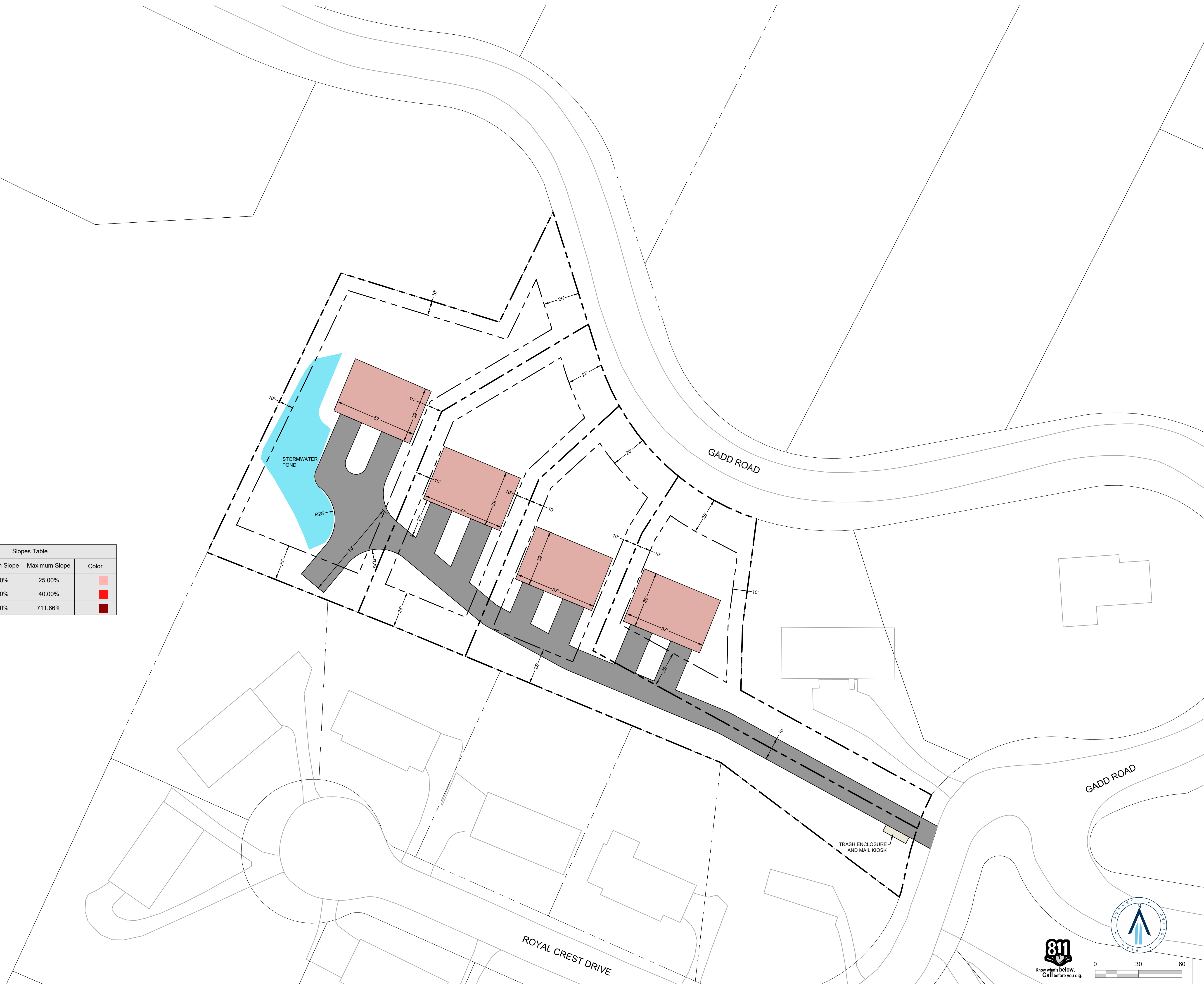
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Drawing No.

C1.0

Project No.  
25-0386

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
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2	25.00%	40.00%	
3	40.00%	711.66%	



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RaganSmith  
a PAPE-DAWSON company

# 520 GADD ROAD

FOR  
CLAY DELOACH

RED BANK, TENNESSEE

Scale: 1"=30'

Date: 01/05/2025

Approved By: XXX

Revisions:

Drawing Title:

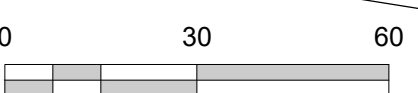
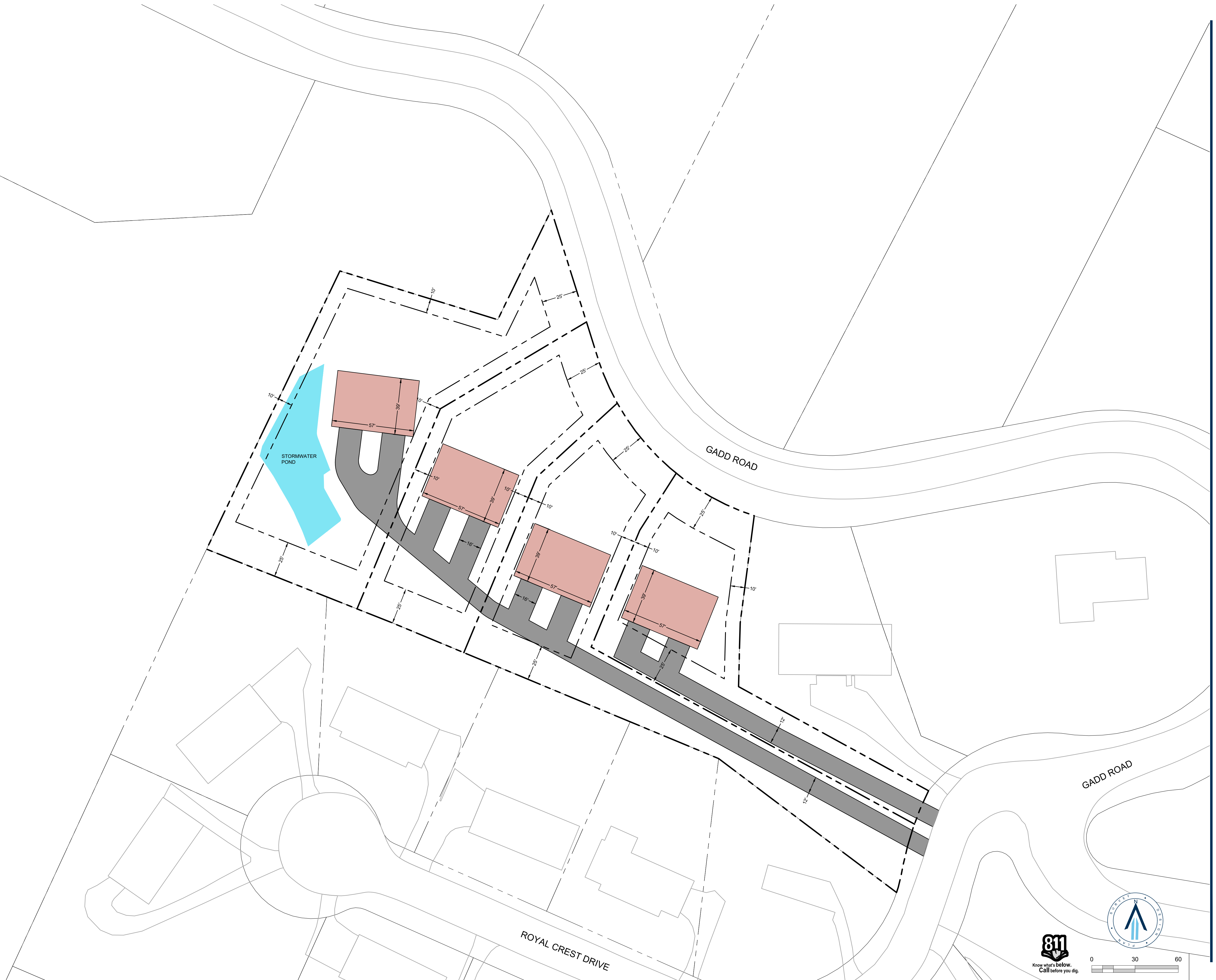
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Drawing No.

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Project No.

25-0386



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LATE UPDATED BY: JOHNSON ON: 1/5/2025 11:11 AM



RaganSmith  
a PAPE-DAWSON company

# 520 GADD ROAD

FOR  
CLAY DELOACH

RED BANK, TENNESSEE

Scale: 1"=30'

Date: 01/22/2026

Approved By: XXX

Revisions:

Drawing Title:

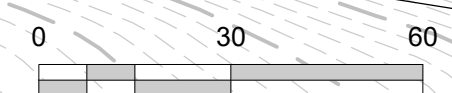
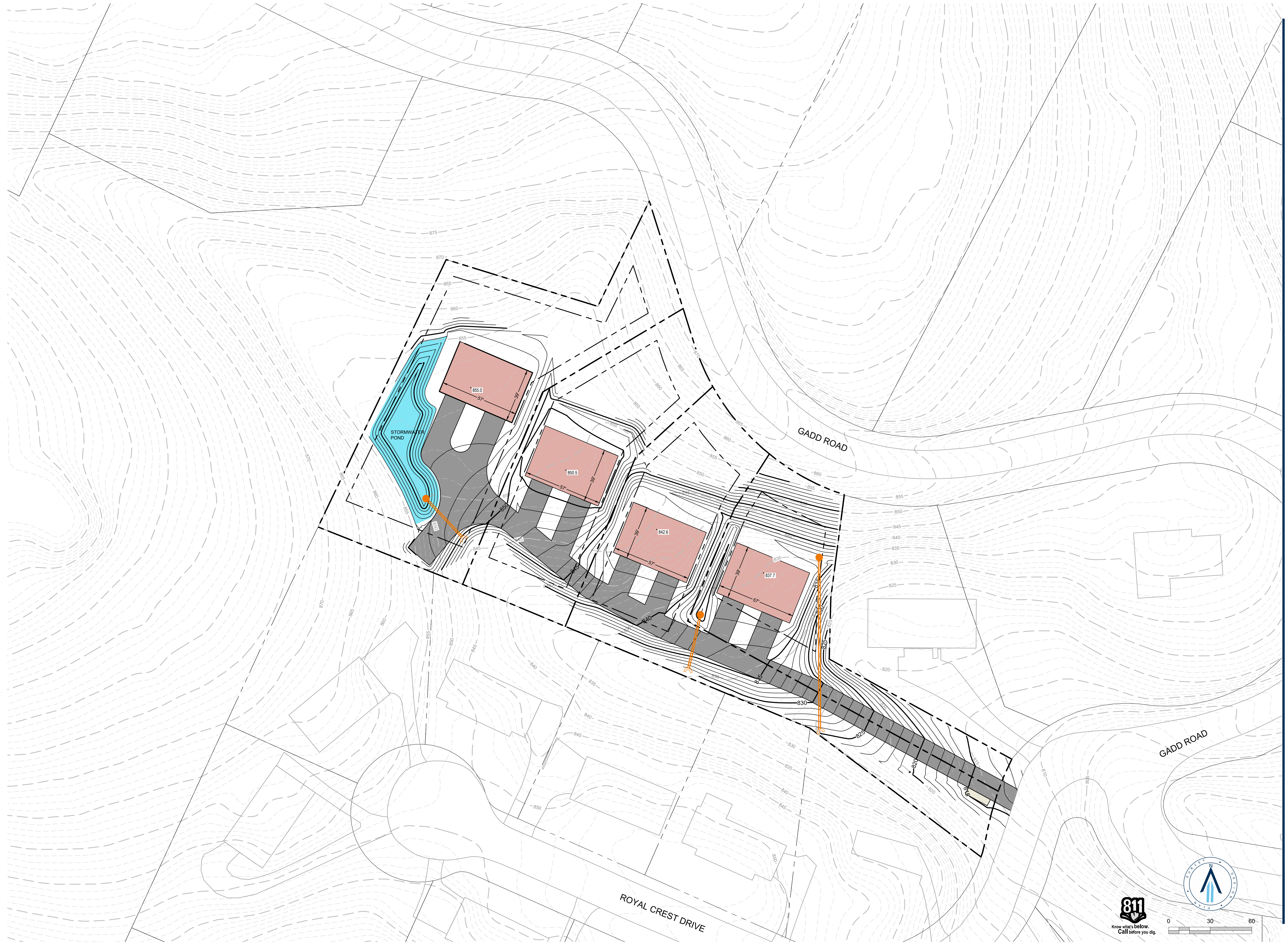
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25-0386



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