

**MUNICIPAL PLANNING COMMISSION  
REGULAR SESSION AGENDA  
March 25, 2026, 12:00 pm  
Red Bank Court Room  
3117 Dayton Boulevard**

**I. CALL TO ORDER**

**II. ROLL CALL**

1. Sonja Millard
2. Blake Pierce
3. Robin Pipkin-Parker
4. Ben Richards
5. Kate Skonberg

**III. INVOCATION**

**IV. PLEDGE OF ALLEGIANCE**

**V. NEW BUSINESS**

1. Design review request for 2309 Dayton Boulevard
  - a. Applicant presentation
  - b. Staff presentation
  - c. Public comment
  - d. Discussion/vote
2. Amendment to Ordinance 16-1048
  - a. Staff presentation
  - b. Public comment
  - c. Discussion/vote

**VI. UNFINISHED BUSINESS**

**VII. OTHER BUSINESS**

1. Officer Elections
  - a. Staff presentation
  - b. Discussion/vote

**VIII. ADJOURNMENT**

**MUNICIPAL PLANNING COMMISSION  
REGULAR SESSION MINUTES  
February 25, 2026, 6:00 pm  
Red Bank Court Room  
3117 Dayton Boulevard**

**I. CALL TO ORDER**

**II. ROLL CALL**

1. Sonja Millard - present
2. Blake Pierce - present
3. Robin Pipkin-Parker - absent
4. Ben Richards - present
5. Kate Skonberg - absent

**III. INVOCATION**

**IV. PLEDGE OF ALLEGIANCE**

**V. CONSIDERATION OF THE MINUTES**

**VI. NEW BUSINESS**

1. Design Review Request for 546 Morrison Springs Road
  - d. Jordan Wood, architect with River Street Architects, presented the conceptual site plan and renderings for Midgate Commons, a mixed-use, commercial and residential development at the intersection of Morrison Springs Road and Highway 27. The project will likely be three phases with the first phase being the 4-story mixed-use building. One variance request is the setback distance for this building. Because the buildings and the southern hillside are intended to focus on an internal plaza space, the design is dependent on the buildings being pushed against the hill and away from the road. A second variance is a parking lot location variance. This request goes hand-in-hand with the building setback variance. Pushing the buildings up to the right-of-way would stretch the building envelope and plaza design and encourage vehicle traffic to bisect the plaza, which would defeat the purpose of the internal focused building layout. The civil preliminary drawings may indicate infrastructure between the right-of-way and the existing sidewalk which would necessitate a variance for the planning of trees in this strip of land.
  - e. Commissioner Pierce asked Jordan to speak to the traffic flow of the site. Jordan stated that the intent was to deter vehicle traffic from using the site as traffic from Tom Weathers to Morrison Springs. The primary entrance is on Tom Weathers but there is a constrained right-turn-only exit on Morrison Springs. Overall the design is pushing the human spaces against the hill and the vehicle space against Morrison Springs.
  - f. Commissioner Richards asked about pedestrian presence throughout the site. Jordan stated that there is a primary pedestrian way through the center of the site with multiple connections from the pool, the future trail system at Godsey Ridge, and the sidewalk along Morrison Springs Road.
  - g. Michael Pham, planner, presented the design review checklist which staff use to ensure adherence to the design review standards. While many elements have not been fulfilled, it may be necessary to approve the review conditionally so that the applicant can move forward in the civil design phase. Building permits are not issued until design reviews are approved. The staff recommendation is to approve the variances because the design intent of the site meets the overall intent of the design guidelines which is to improve the overall quality of development, enhance pedestrian safety and walkability, and ensure compatibility of new and revitalized developments with surrounding land uses(Godsey Ridge, community center, Erlanger North).

- h. Commissioner Richards asked staff to clarify the design standard regarding parking lot screening.
  - i. Pham stated that this standard appears to be for a very specific type of site where parking lots are located behind buildings and against residential neighborhoods. Screening the lots in this layout was likely intended to create a buffer between residential uses, pedestrian walkways, and commercial development. Pham stated that this standard does not appear to apply to the 346 Morrison Springs Road site.
  - j. Commissioner Pierce motioned to approve the request with the caveat that the site plan is fulfilled according to the design standards, Commissioner Millard seconded, the motion carried unanimously.
- 3. Request to rezone 4717 Hawk Den Trail from R-1 to C-1
    - a. Pham stated that the application needs to be reviewed at a later meeting because it is not ready.
  - 4. Annual Election of Planning Officers
    - a. Pham stated that it would be preferable to move this item to the next meeting when all planning commission members are present.

**VII. UNFINISHED BUSINESS**

**VIII. OTHER BUSINESS**

**IX. ADJOURNMENT – The meeting was adjourned at 6:30 PM.**

CHAIRPERSON \_\_\_\_\_

## Planning Commission Regular Session 3-25-2026

Request: Design review of 2309 Dayton Boulevard “Taco Bell”

Applicant: Tim Minor, project manager

### Purpose

The planning commission must approve any design review applications for properties that exceed 175 of road frontage. Staff have prepared the checklist for the commission’s review at the March 25, 2026 regular session. The intent of the Red Bank Design Review Standard is to:

1. Improve the overall quality of development in Red Bank,
2. Enhance pedestrian safety and walkability in the city’s commercial corridor,
3. Ensure the compatibility of new and revitalized developments with surrounding land uses, and
4. Ensure that the design review process is accessible and easy to understand.

### Staff Review

The design review standard applies to new construction of a primary structure. The applicant is proposing a demolition of the existing Taco Bell restaurant, and the construction of a new Taco Bell restaurant in a similar building footprint.

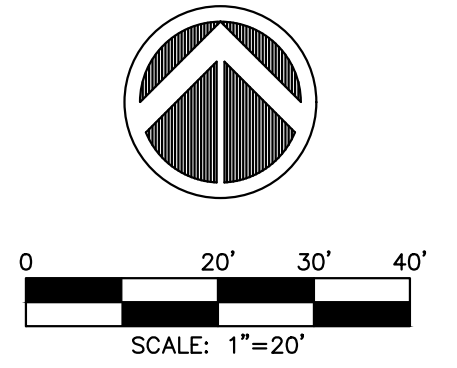
Three variances requested by the applicant are:

- Drive lane in store front area
  - Requirement: no drive lane permitted in the storefront area
  - Request: drive lane between building and right-of-way for existing drive through layout
- Building setback
  - Requirement: minimum of 7’, maximum of 25’
  - Request: +/-73.14’ to replicate existing building footprint and maintain drive through layout
- Building façade materials
  - Requirement: prohibits use of flat metal
  - Request: deep ribbed architectural metal panels to maintain brand consistency
- Pedestrian lighting
  - Requirement: street lighting in front of all new development on Dayton Boulevard
  - Request: minimal width between sidewalk and right-of-way may prevent installation of standard EPB lamp post.

All other design standards have been met. Staff recommend approval of the variances and the design review application as a whole.

REVISIONS

02/24/2026 RELEASE FOR REVIEW



TACO BELL RESTAURANT  
2303 DAYTON BLVD, RED BANK, TN 37415  
SITE #000000

TACALA  
9750 CORPORATE WOODS DRIVE  
VESTAVIA HILLS, AL 35242  
205-443-9900  
WWW.TACALACOM

JOB NO: 26018  
DWG NAME: 26018 PROJ  
DRAWN BY: TM

SITE PLAN

SHEET:  
C2

DATE: 02/24/2026

SITE LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- CONCRETE SIDEWALK (SEE DETAIL)
- CONCRETE CURB AND GUTTER (SEE DETAIL)
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- "STOP" SIGN (R1-1)
- ACCESSIBLE STALL AND DESIGNATED VAN STALL
- A.D.A. STD ACCESSIBLE RAMP
- STORM SEWER GRATE

SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND ITEMS NOT SHOWN ON THESE PLANS.
3. TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY:  
  
TTL  
3516 GREENSBORO AVENUE  
TUSCALOOSA, AL 354061  
PHONE: 205-345-0816
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
5. ALL ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS AND APPLICABLE STATE CODES OR REQUIREMENTS.
6. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND APPLICABLE STATE DOT REQUIREMENTS, AND IS RESPONSIBILITY OF SITE CONTRACTOR.
7. ALL STRIPED OR CURBED RADII SHALL BE 2.5' AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ON-SITE OR OFF-SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
9. ALL PARKING LOT LIGHTING POLES, BASES, FIXTURES WITH LAMPS AND REQUIRED PAINT WILL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER A ONE-YEAR WARRANTY CERTIFICATE. ALL INCURRED COSTS FOR RECEIVING, UNWRAPPING OF FACTORY PAINTED POLES, STORAGE, LIABILITY AND WARRANTY LABOR SHALL BE INCLUDED IN THE INSTALLATION CONTRACT PRICE.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
11. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS FROM THE DESIGN DOCUMENTS. SITE CONTRACTOR SHALL ALSO PROVIDE AS-BUILTS AS PART OF THE CONTRACT FOR STORM, SANITARY AND WATER LINES, IF REQUIRED BY THE GOVERNING AUTHORITY.
12. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
13. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE OWNER/ENGINEER IMMEDIATELY.
14. ALL NON-COLORED SITE CONCRETE SHALL BE MINIMUM 3,500 PSI 28 DAY COMPRESSIVE STRENGTH.
15. ALL CURB & GUTTER WITHIN THE DEVELOPMENT SHALL BE 18" UNLESS OTHERWISE SPECIFIED.
16. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).
17. THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCES TO WITHIN 5' OF THE BUILDING.
18. CONTRACTOR TO INCLUDE CONCRETE BOLLARDS FOR PROTECTION OF BUILDING CORNERS, TRANSFORMERS, VAULTS, LIGHTING POLES, AND OTHER FIXTURES NEAR DRIVE ISLES AS SHOWN ON THIS PLAN.
19. BUILDING CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
20. ALL GUTTER SECTIONS OF CURB AND GUTTER AND ALL CONCRETE APRONS IN PARKING STALLS SHALL HAVE THE SAME SLOPE AS THE PAVEMENT WITHIN THE PARKING LOT AS SHOWN ON THE GRADING PLAN. CONTRACTOR MUST EVALUATE GRADING PLAN PRIOR TO POURING THESE ITEMS.

PARKING SUMMARY

CUSTOMER ACCESSIBLE AREA	800 SF
REQUIRED SPACES	1/3 SEATS
REQUIRED STD. SPACES	28 SEATS = 10
PROVIDED STD. SPACES	43
PROVIDED HC SPACES	2
PROVIDED TOTAL SPACES	45

SITE SUMMARY

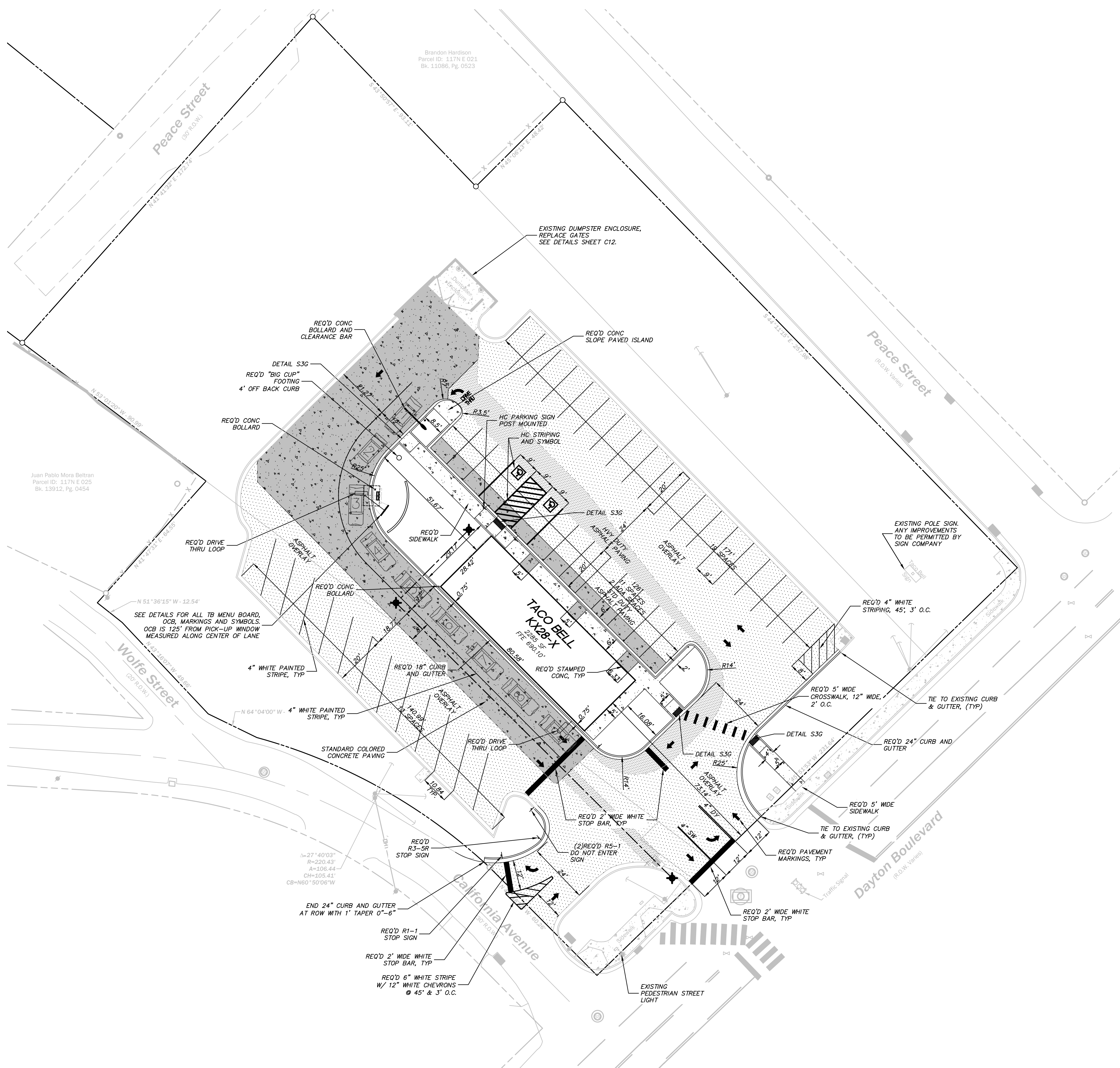
PARCEL SIZE	1.79 ACRES
TOTAL DISTURBED AREA	0.40 ACRES
PRE DEVELOPMENT TOTAL IMPERVIOUS AREA	0.72 ACRES
TOTAL IMPERVIOUS AREA	1.07 ACRES
POST DEVELOPMENT TOTAL IMPERVIOUS AREA	0.72 ACRES
TOTAL PERVIOUS AREA	1.07 ACRES

PAVEMENT LEGEND

- STD. DUTY CONCRETE PAVING
- COLORED CONCRETE PAVING
- STD. DUTY ASPHALT PAVING
- ASPHALT PAVING MILL AND OVERLAY

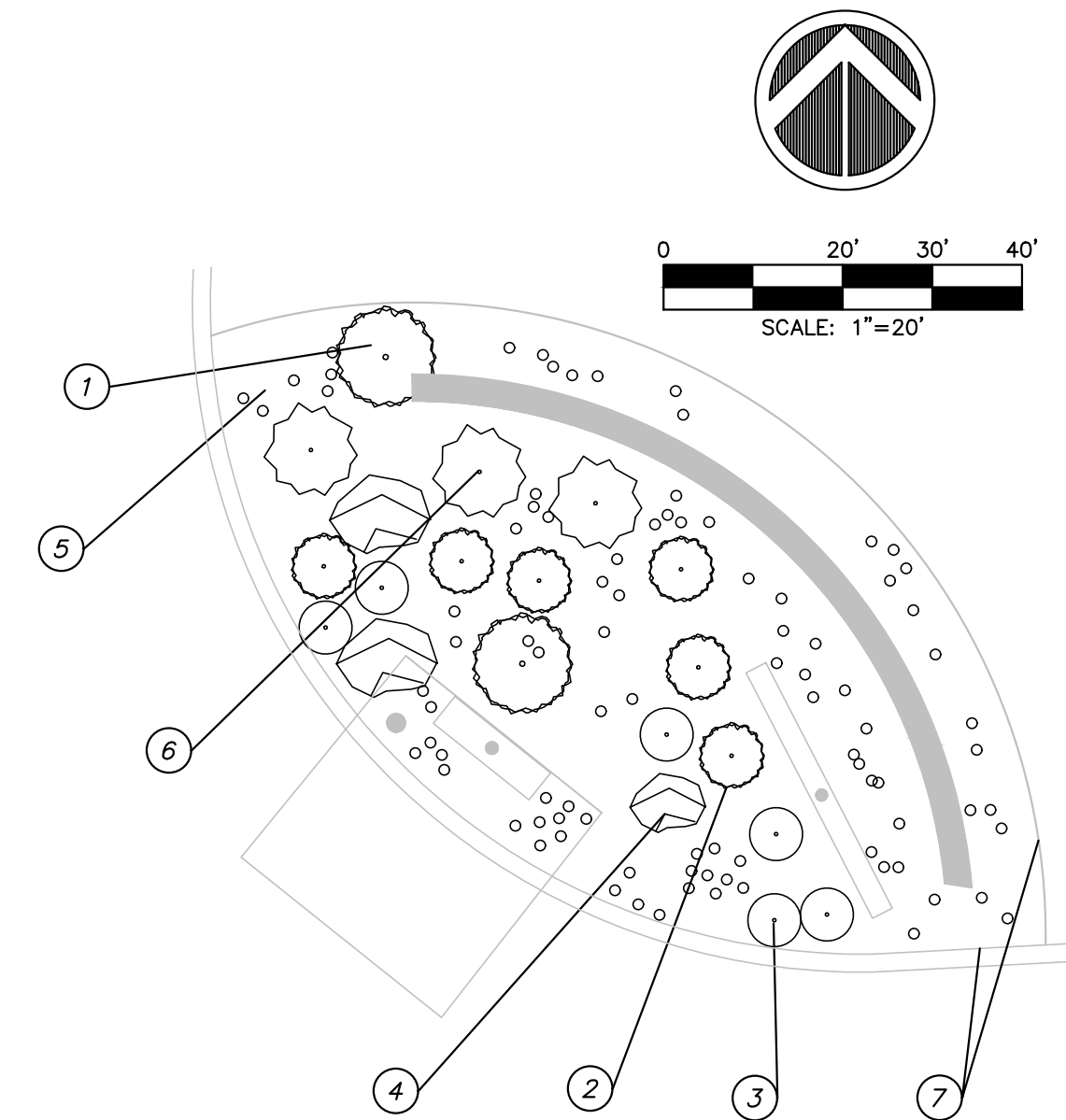
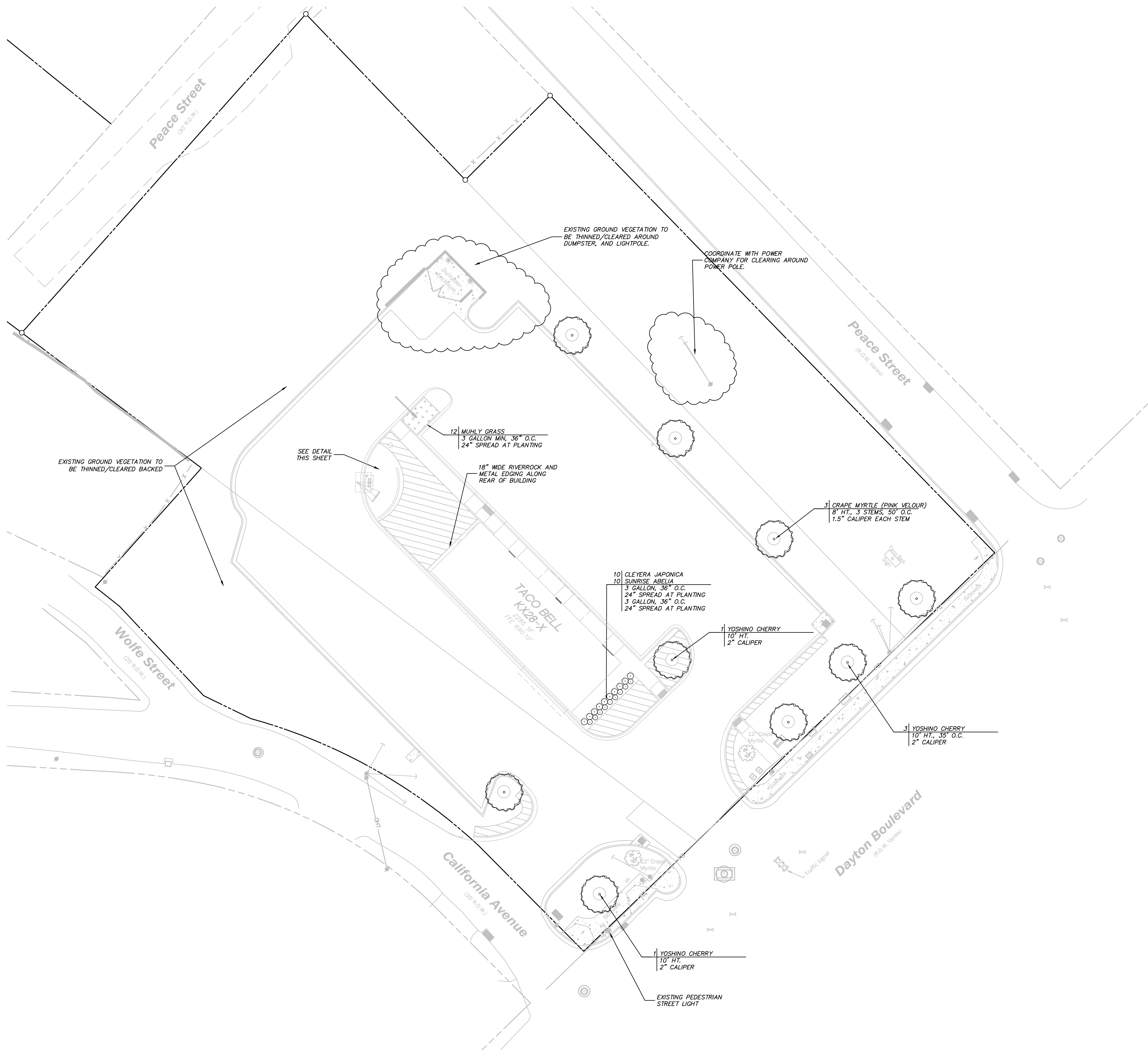
SPECIAL SITE NOTES

1. CONTRACTOR TO LEAVE OUT 2" CURB AND GUTTER AT LOCATION OF ADA RAMP, 7" AT OTHER RAMPS, AND ANY OTHER AREAS AS DIRECTED BY THE ENGINEER. BUILDING CONTRACTOR RESPONSIBLE FOR POURING THESE AREAS DURING SIDEWALK CONSTRUCTION.
2. SITE CONTRACTOR RESPONSIBLE FOR APPLICATION OF CLEAR SEALER, PROVIDED BY OWNER, TO ALL CURB AND GUTTER AND COLORED CONCRETE PAVING. BUILDING CONTRACTOR RESPONSIBLE FOR APPLICATION OF CLEAR SEALER TO ALL SIDEWALKS AND FINAL BLACK SEALER TO COLORED CONCRETE PAVEMENT.
3. BUILDING CONTRACTOR RESPONSIBLE FOR ALL GRADING WITHIN AREAS INSIDE INTERIOR CURB AND GUTTER TO WITHIN 4" OF TOP OF CURB.
4. DYE FOR COLORED CONCRETE AS WELL AS CLEAR AND PIGMENTED SEALER PROVIDED BY TACALA.
5. DRIVE THRU LOOPS PROVIDED BY TACALA AND SHALL BE INSTALLED BY THE SITE CONTRACTOR.
6. ALL SIGNAGE SHALL BE PROVIDED BY THE SITE WORK CONTRACTOR EXCEPT FOR ADA SIGNAGE TO BE PROVIDED BY BUILDING CONTRACTOR.



C:\USERS\TMINOR\TACALA, LLC\WORK OFFICE CAD SYNC - DOCUMENTS\JOB FILES\2026\26018 RED BANK, TN - SCAPE\DWG\26018 PROJ.DWG

G:\USERS\TMINOR\TACALA, LLC\WORK OFFICE CAD SYNC - DOCUMENTS\JOB FILES\2026\26018 RED BANK, TN - SCRAPED\DWG\26018 PRO.DWG



**LANDSCAPING BOULDERS**

CONTRACTOR SHALL PROVIDE NATURAL STONE BOULDERS 30"-36" IN SIZE THAT MATCH THE RIVERROCK. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT. EXAMPLE PHOTOS SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER UPON HIS REQUEST. EXAMPLE STONES ARE "BAWA CRESTA RED BOULDER" BY KRC ROCK BUT CONTRACTOR CAN CHOOSE ANY STONE THAT MEETS APPROVAL BY THE OWNER. RIVERROCK SAMPLE SHALL ALSO BE PROVIDED TO OWNER PRIOR TO PLACEMENT. RIVERROCK SHALL RANGE FROM 2"-5" WITH APPROXIMATE 30% 2", 40% 3-4" AND 30% 5". 5" SHALL BE MAXIMUM SIZE.

**REGION 7 - SOUTHEAST**

NO.	MATERIAL	QTY	SIZE	HGT.	SP
1	CHINESE HOLLY LLEX CORNUTA	PER PLAN	5 GAL	24"	
2	SPANISH BAYONET YUCCA ALOFOLIA	PER PLAN	5 GAL		
3	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	1 GAL	36"	
4	BOULDER (SEE NOTE) DESERT SAND COLOR 30"-36"	PER PLAN		N/A	
5	RIVERROCK (SEE NOTE)	PER PLAN		N/A	
6	INDIAN HAWTHORNE RAPHOLEPIS INDICA 'PINK LADY'	PER PLAN	3 GAL	24"	
7	BROWN METAL EDGING	PER PLAN			

**LANDSCAPING DETAILS**

- SEED (BERMUDA - TACALA MUST APPROVE VARIATION)
- SOLID SOD (BERMUDA-TACALA MUST APPROVE VARIATION)

**GENERAL LANDSCAPING NOTES**

1. LANDSCAPING/IRRIGATION CONTRACTOR SHALL COORDINATE ALL MATERIALS AND/OR ANY DEVIATIONS FROM THIS PLAN WITH OWNER BEFORE INSTALLATION.
2. CONTRACTOR SHALL USE DETAILS AS PROVIDED IN THIS PLAN SET UNLESS ADDITIONAL DETAILS ARE PROVIDED BY A LANDSCAPE ARCHITECT IF USED ON THE PROJECT.
3. CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND LANDSCAPING REQUIREMENTS.
4. CONTRACTOR SHALL PLANT SOD WITHIN 8"-10" OF ALL OUTSIDE CURBS AND ALL INTERIOR SPACES, OR AS NOTED ON THIS PLAN. SEED AND MULCH TO BE USED FOR ALL OTHER DISTURBED AREAS.
5. CONTRACTOR SHALL ENSURE ALL PLANTINGS WILL BE ADEQUATELY IRRIGATED.
6. ALL PLANTS HAVE TO BE APPROVED BY THE OWNER/GOVERNING AUTHORITY.
7. SEE GENERAL NOTES ON LANDSCAPING DETAIL SHEET.
8. ALL AREAS TO BE SEED OR SODDED, SHALL RECEIVE 4" OF TOPSOIL AFTER COMPACTION. SOD AND SEED SHALL BE BERMUDA UNLESS LOCAL CONDITIONS REQUIRE OTHER. VARIATIONS FROM BERMUDA MUST BE APPROVED BY OWNER.
9. CONTRACTOR SHALL HAVE LANDSCAPING CONTRACTOR GROUP SHRUBS LISTED AS CHOICES ABOVE IN A MANNER TO PROVIDE AESTHETICALLY PLEASING RESULTS.
10. ALL RIVERROCK MUST BE FULLY WASHED PRIOR TO PLACEMENT IN BEDS.
11. ALL LANDSCAPING BEDS SHALL HAVE BROWN METAL EDGING AROUND THE ENTIRE BED EXCEPT FOR AGAINST CONCRETE CURB OR SIDEWALK. GREEN METAL EDGING WILL NOT BE ACCEPTED. EDGING SHALL EXTEND 1" ABOVE GRASS AND ALL STAKES SHALL BE TOWARDS RIVER ROCK. RIVER ROCK SHALL BE AT LEAST 1" BELOW HEIGHT OF EDGING. ABSOLUTELY NO ORGANIC MULCH OF ANY KIND IS ALLOWED. ALL BEDS TO HAVE A MINIMUM OF 3" SETTLED RIVER ROCK PLACED OVER A MINIMUM 4" OF WEED FABRIC. FABRIC SHALL BE SECURED WITH 6" LANDSCAPING PINS. FABRIC SHALL BE PLACED OVER SHRUBS AND CUT TO FIT. FABRIC SHALL BE INSPECTED BY PHOTOGRAPH SUBMITTAL PRIOR TO RIVER ROCK PLACEMENT. CANOPY TREES SHALL HAVE A 6" LANDSCAPE DIAMETER RING AND CRAPE MYRTLES TO HAVE A 4" DIAMETER RING. RIVERROCK SHALL ALWAYS BE FULLY ENCOMPASSED IN METAL EDGING WHERE SURROUNDED BY SOD.
12. AS-BUILT IRRIGATION PLANS TO BE SUBMITTED TO OWNER AT TURNOVER OF PROJECT.

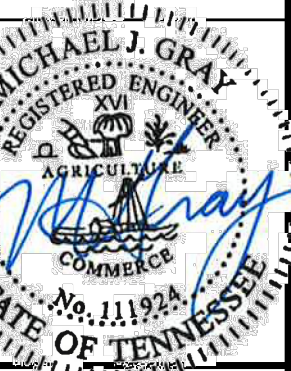
**REVISIONS**

NO.	DESCRIPTION



**TACO BELL RESTAURANT**  
 2303 DAYTON BLVD, RED BANK, TN 37415  
 SITE #000000

**TACALA**  
 9750 CORPORATE WOODS DRIVE  
 VESTAVIA HILLS, AL 35242  
 205-443-9900  
 WWW.TACALA.COM



JOB NO: 26018  
 DWG NAME: 26018 PROJ  
 DRAWN BY: TM

**LANDSCAPING PLAN**

SHEET:  
**C6**

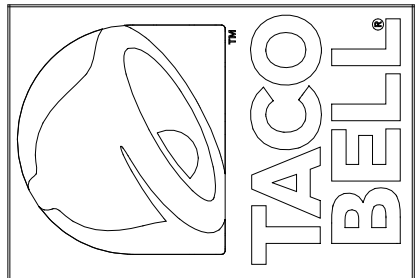
DATE: 02/24/2026

NOT FOR CONSTRUCTION

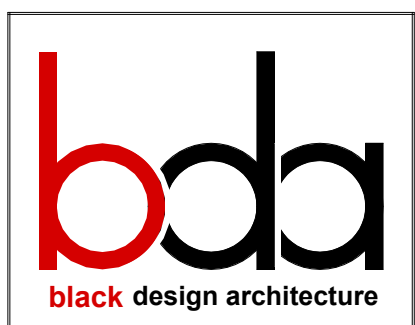
ISSUE FOR REVIEW  
2/24/2026

REVISIONS:

No.	Description	Date



TACO BELL - KITCHEN X  
**RED BANK**  
2303 Dayton Blvd, Red Bank, TN 37415

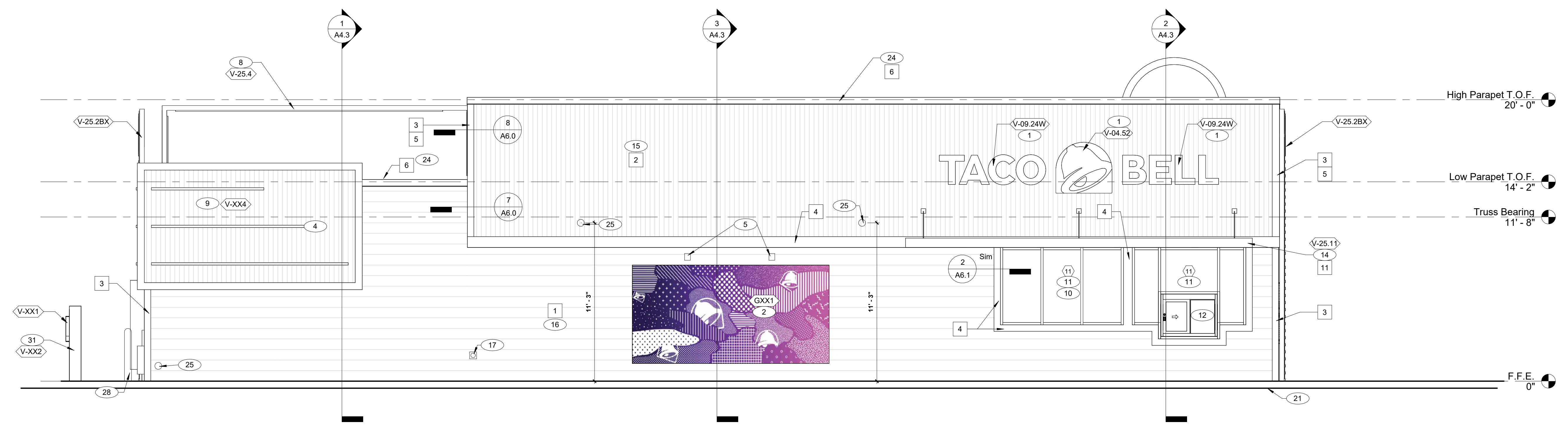


2121 1st Avenue North, Suite 202  
Birmingham, AL 35203  
Phone: 205.868.6921  
Email: LB@blackdesignarch.com

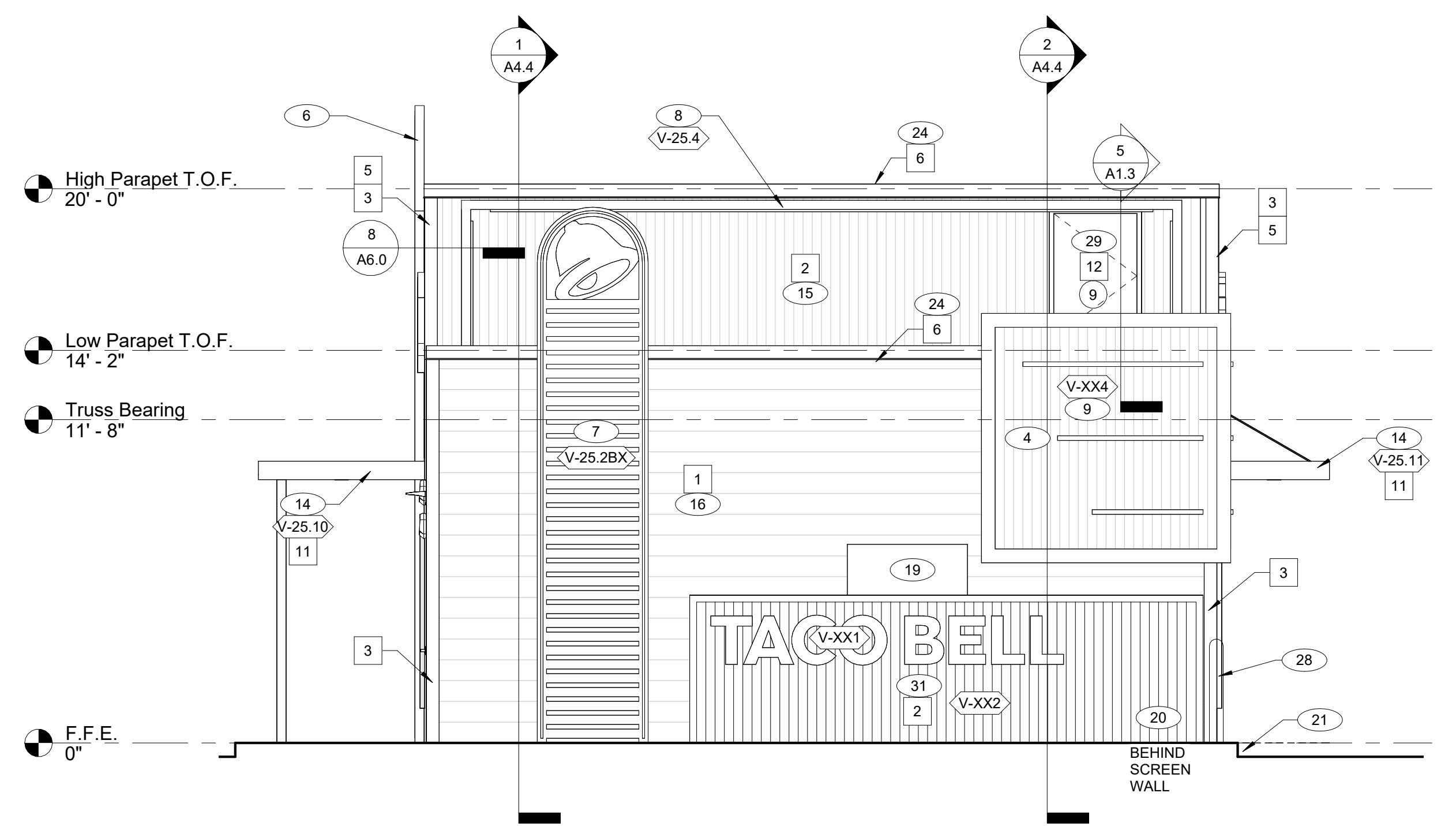
SHEET TITLE  
**EXTERIOR ELEVATIONS**

PROJECT NUMBER: 25-1362  
ISSUE DATE: 2/24/2026  
DRAWN BY: JS  
CHECKED BY: LB

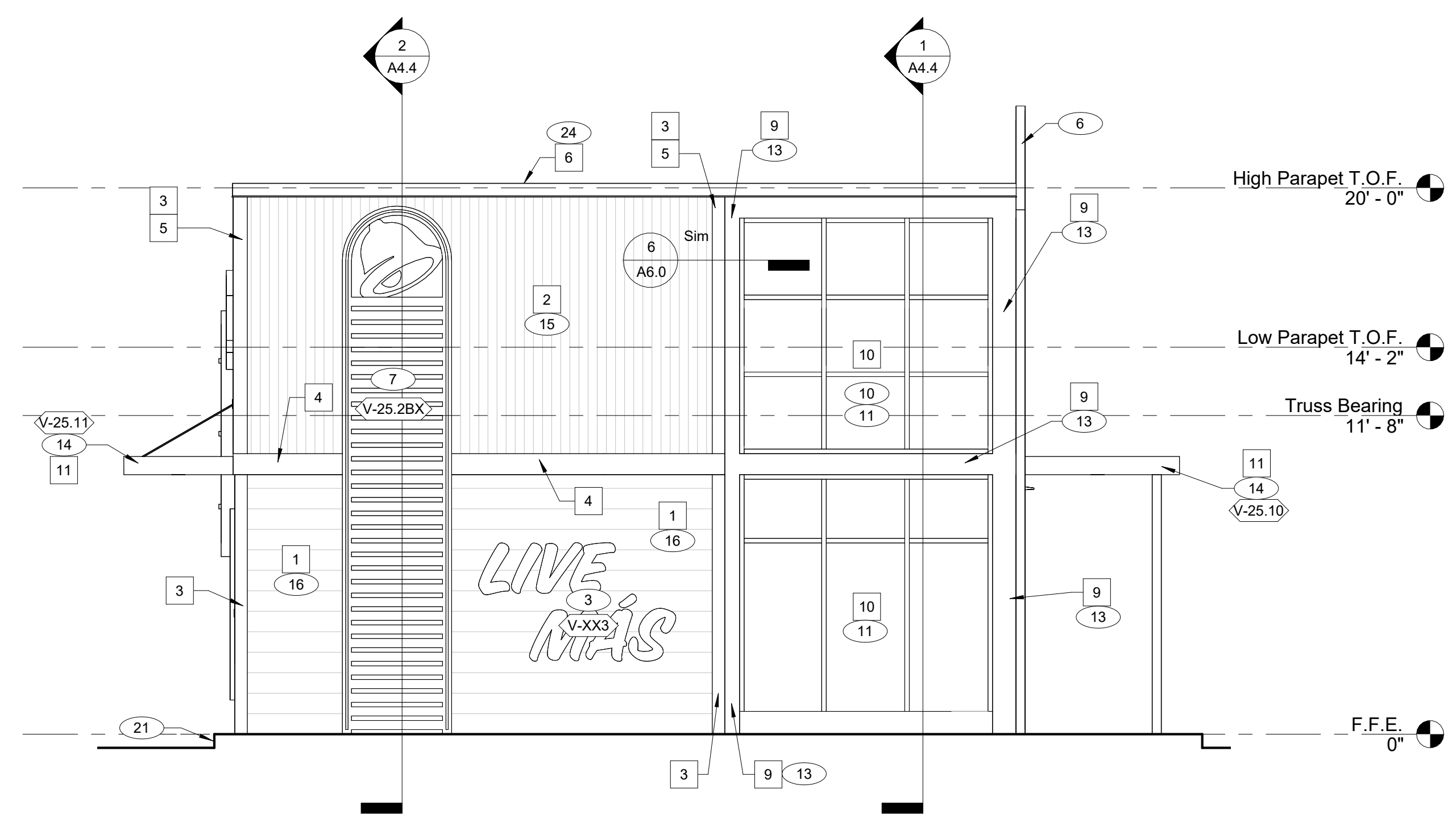
SHEET NUMBER  
**A4.1**



Drive-Thru Elevation 1/4" = 1'-0" 2



Rear Elevation 1/4" = 1'-0" 3



Front Elevation 1/4" = 1'-0" 1

## Taco Bell Kitchen X Exterior Design

This new Taco Bell corporate store concept was developed by the Taco Bell corporate designers as part of their new marketing brand focusing on current trends of product delivery and leading-edge customer experience.

The new building model is comprised of overlapping planes of three primary materials: cement fiber board siding, deep ribbed architectural metal panels and storefront glass. The juxtaposition of the different veneers and finishes help delineate areas of the building within a monochrome envelope.

The Entry Elevation includes a canopy, artwork panels, and a lighted tube frame system. The Front Elevation includes a branding feature. The Rear Elevations includes a branding feature, lighted tube frame system, a lighted corner accent, and a screen wall for the utilities. The Drive Through Elevation includes a canopy, wall mural, lighted tube frame system, and lighted corner accent.

The elevation breakdown of materials is as follows:

### Entry Side

Total square footage:	1,493 sf
Fenestration	511 sf (15%)
Cement Fiber Board	555 sf (57%)
Architectural Panels	427 sf (43%)

### Front Elevation

Total square footage	541 sf
Fenestration	213 sf (37%)
Cement Fiber Board	183 sf (51%)
Architectural Panels	179 sf (49%)

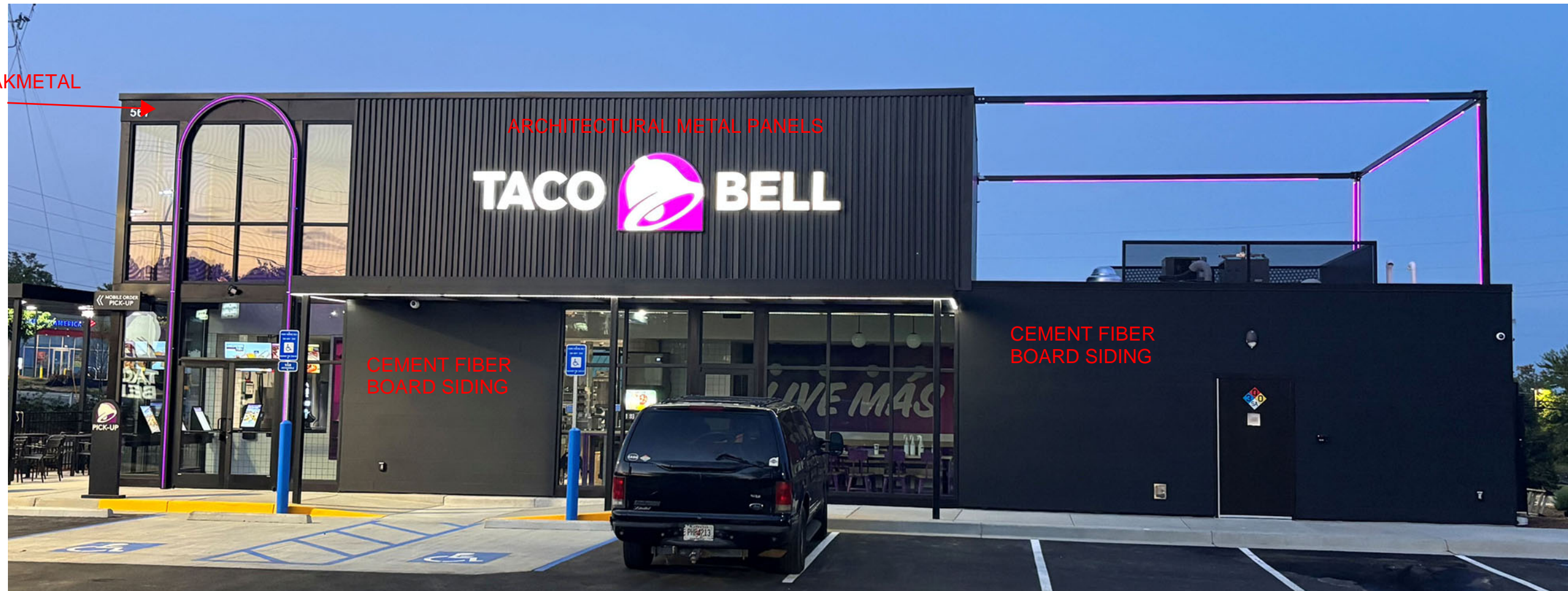
### Rear Elevation

Total square footage	590 sf
Fenestration	0 sf (0%)
Cement Fiber Board	243 sf (41%)
Architectural Panels	167 sf (31%)
Feature Elements	180 sf (28%)

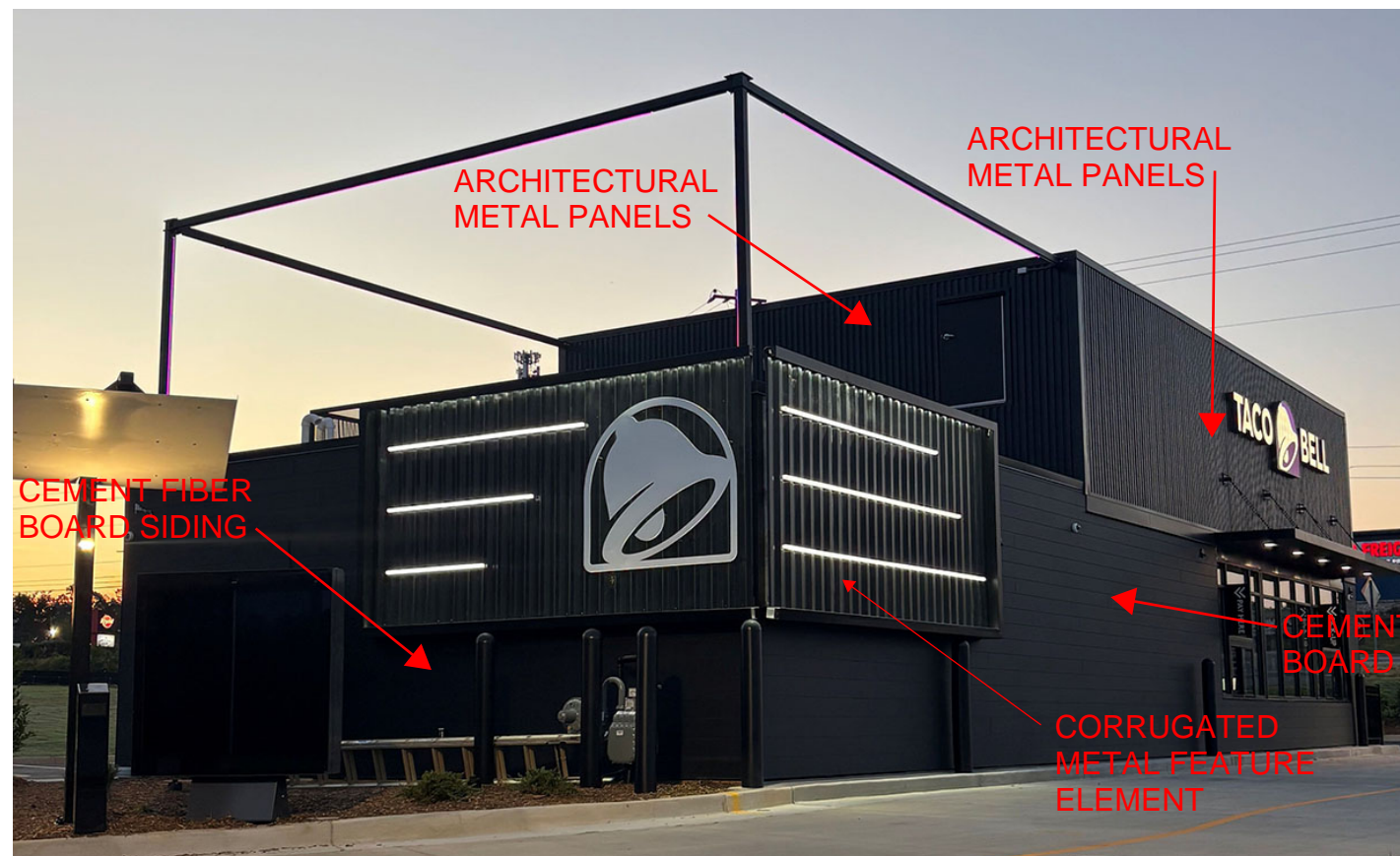
### Drive-through Side

Total square footage	1,516 sf
Fenestration	100 sf (7%)
Cement Fiber Board	685 sf (48%)
Architectural Panels	571 sf (41%)
Feature Elements	144 sf (11%)

BREAKMETAL TRIM



FACING PEACE ST



RIGHT REAR CORNER



FACING DAYTON BLVD

## **Planning Commission Regular Session 3-25-2026**

Request: Amendment to Ordinance 16-1048

Applicant: City of Red Bank

### Purpose

The Board of Commissioners of the City of Red Bank, Tennessee, may, from time to time, amend, supplement or change the regulations and established in the Red Bank Zoning Ordinance No. 15-1020; but no amendment shall become effective unless it be first submitted to and approved by the Planning Commission, or if disapproved, shall receive the favorable vote of a majority of the entire membership of the Board of Commissioners.

Ordinance 16-1048 to rezone 3714 Redding Road from R-1A Residential to RZ-1 Zero Lot Line Residential was adopted by the city commission in March 2016. The planning commission, which recommended the rezoning, included three conditions in the ordinance:

1. An approved and legally conforming subdivision plat shall be recorded within one (1) year of the date of final passage of the ordinance.
2. All dimensional requirements and setbacks of the RZ-1 zoning district shall be met.
3. Only single-family homes shall be constructed on the property. No other RZ-1 uses are permitted.

The rezoning was recorded sometime after the passing of the ordinance and until this day the property is zoned as RZ-1. An approved and legally conforming subdivision plat was not recorded. In March 2026 a plat was submitted to the city for the purpose of subdividing the property. Because the condition to record a plat within one year of the final passage of the ordinance, the most recent plat submission is considered out of conformity with the rezoning ordinance. Staff are initiating a zoning amendment to remove the condition from the ordinance so that the most recent plat can be approved.

### Staff Review

Staff recommend approval of the amendment in order to move the plat submission forward in the development process. The property is currently vacant—a structure existed on the property until sometime between 2016 and 2018 according to Hamilton County GIS satellite images. There is no evidence of the property being used since.

Minutes from the planning commission meeting that resulted in the application of the three conditions have not been found and the reason for the conditions is unknown. Applying conditions to rezoning ordinances is not standard planning practice due to the inherent nature of a rezoning decision: the rezoning is appropriate or it is not. Applying conditions can create unnecessary redundancy that complicates staff approvals, and/or the property owner's ability to develop a property, and/or a discretionary skew that isn't based on the adopted comprehensive plan or zoning code.

In the case of rezoning of 3714 Redding Road, the condition to record a plat within one year of the final passage of the ordinance, the current property owner is unable to proceed with development.

**ORDINANCE NUMBER 16-1048**

**AN ORDINANCE OF THE CITY OF RED BANK, TENNESSEE, AMENDING THE ZONING MAP TO REZONE PROPERTY AT 3714 REDDING ROAD FROM R-1A RESIDENTIAL ZONE TO RZ-1 ZERO LOT LINE RESIDENTIAL ZONE, SUBJECT TO CONDITIONS**

**WHEREAS**, *Tennessee Code Annotated* (TCA) § 13-7-201 allows municipal governments the authority to regulate land use through zoning of its jurisdictional territory; and

**WHEREAS**, the Red Bank municipal planning commission has certified zoning districts as provided for in TCA § 13-7-202; and

**WHEREAS**, TCA §13-7-204 authorizes amendments to the municipal zoning map and provides for that process; and

**WHEREAS**, the applicant, Mr. Lynn Bodine, has filed an application to rezone his property located at 3714 Redding Road, Red Bank, Tennessee, more particularly described per the attached Exhibit A, from Zone R-1A Residential to RZ-1 Zero Lot Line Residential ; and

**WHEREAS**, the applicant and owner of the real property, Mr. Lynn Bodine, has stated his intention of subdividing the subject property into two fifty-foot-wide lots on which he plans to build two new homes of approximately 1,700 to 1,800 square feet and estimated at \$235,000; and

**WHEREAS**, the planning commission, at its meeting on January 21, 2016, determined the proposed development as presented by Mr. Bodine to be desirable and appropriate for the area and made a favorable recommendation for the rezoning of the subject property at 3714 Redding Road, from R-1A Residential to RZ-1 Zero Lot Line Residential by a vote of 3-2; and

**WHEREAS**, the planning commission recommends that the city commission place the following conditions on the rezoning approval:

1. that the rezoning be contingent on a legally conforming subdivision plat being submitted, approved and recorded,
2. that all dimensional requirements and setbacks of the RZ-1 zoning district be met,
3. that only single-family homes be constructed on the property, and

**WHEREAS**, the planning commission, after the required public notices, provided an opportunity for the public to submit comments in favor of or against the proposed rezoning at an advertised public hearing held in conjunction with its regular meeting on January 21, 2016, heard comments for and against the proposed rezoning; and

**WHEREAS**, the city commission provided, after the required public notices, an opportunity for the public to submit comments in favor of or against the proposed rezoning at an advertised public hearing prior to the final reading of this ordinance, heard comments for and against the proposed rezoning; and

**WHEREAS**, in accordance with the planning commission's recommendation, Mr. Bodine has submitted a proposed preliminary plat to the city commission for their review and consideration; and

**WHEREAS**, the city commission finds that rezoning the real property from R-1A Residential to RZ-1 Zero Lot Line Residential to accommodate the proposed development is in harmony with the intent of the Zoning Ordinance and land use plan, does not violate any provisions of the Zoning Ordinance, and would not have a negative impact on adjacent properties, provided that the rezoning and subsequent development is subject to the conditions as recommended by the planning commission.

**NOW THEREFORE BE IT ORDAINED** by the City of Red Bank, Tennessee, as follows:

SECTION 1. The official zoning map is hereby amended by conditionally rezoning property located at 3714 Redding Road, Hamilton County tax parcel no. 118A L 018, from R-1A Residential Zone to RZ-1 Zero Lot Line Residential Zone. This property is the same as that described in Deed Book GI 10025 page 341 ROHC.

SECTION 2. Rezoning of the aforementioned property shall be subject to the following conditions:

1. An approved and legally conforming subdivision plat shall be recorded within one (1) year of the date of final passage of this ordinance.
2. All dimensional requirements and setbacks of the RZ-1 zoning district shall be met.
3. Only single-family homes shall be constructed on the property. No other RZ-1 uses are permitted.

SECTION 3. Failure to comply with any of these conditions shall result in this ordinance becoming automatically null and void and the Zoning automatically reverting to R-1A Zone.

SECTION 4. The zoning maps of this city shall be amended so as to conditionally reflect RZ-1 zone with a specific reference to this ordinance and being expressly subject to the requirement that all conditions herein specified be met.

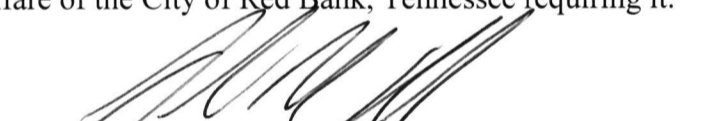
SECTION 5. The Zoning Ordinance and Zoning Maps of this City shall automatically revert to R-1A in the event that the signature of the owner/applicant accepting and acknowledging the recited conditions is not affixed within thirty (30) days from and after passage of this Ordinance upon second and final reading.

SECTION 6. Nothing contained herein shall be construed to imply to approval of any preliminary or other site plan, plat or proposed reconfiguration of the subject real property.

**BE IT FURTHER ORDAINED**, that every section, sentence, clause, and phrase of this ordinance is separable and severable. Should any section, sentence, clause, or phrase be declared unconstitutional or invalid by a court of competent jurisdiction, said unconstitutionality or invalidity shall not effect or impair any other section, sentence, clause, or phrase.

**FINALLY, BE IT ORDAINED**, that this ordinance shall take effect from and after the date of its final passage, the public welfare of the City of Red Bank, Tennessee requiring it.

  
CITY RECORDER

  
MAYOR OF RED BANK

March 1, 2016  
PASSED ON FIRST READING

March 15, 2016  
PASSED ON SECOND READING

APPROVED AS TO FORM:

  
CITY ATTORNEY

ACCEPTED AS TO CONDITIONS AND  
CONDITIONS ACKNOWLEDGED TO BE  
SPECIFICALLY ENFORCEABLE:

By:   
Lynn Bodine

March 30, 2016  
Date

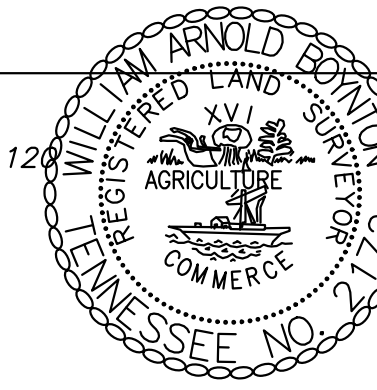


I hereby certify that I am the owner in fee simple of this property and I hereby adopt this plan of subdivision.

LYNN BODINE JR.  
5026 DAYTON BLVD.  
CHATTANOOGA, TN 37415  
(423) 316-7489

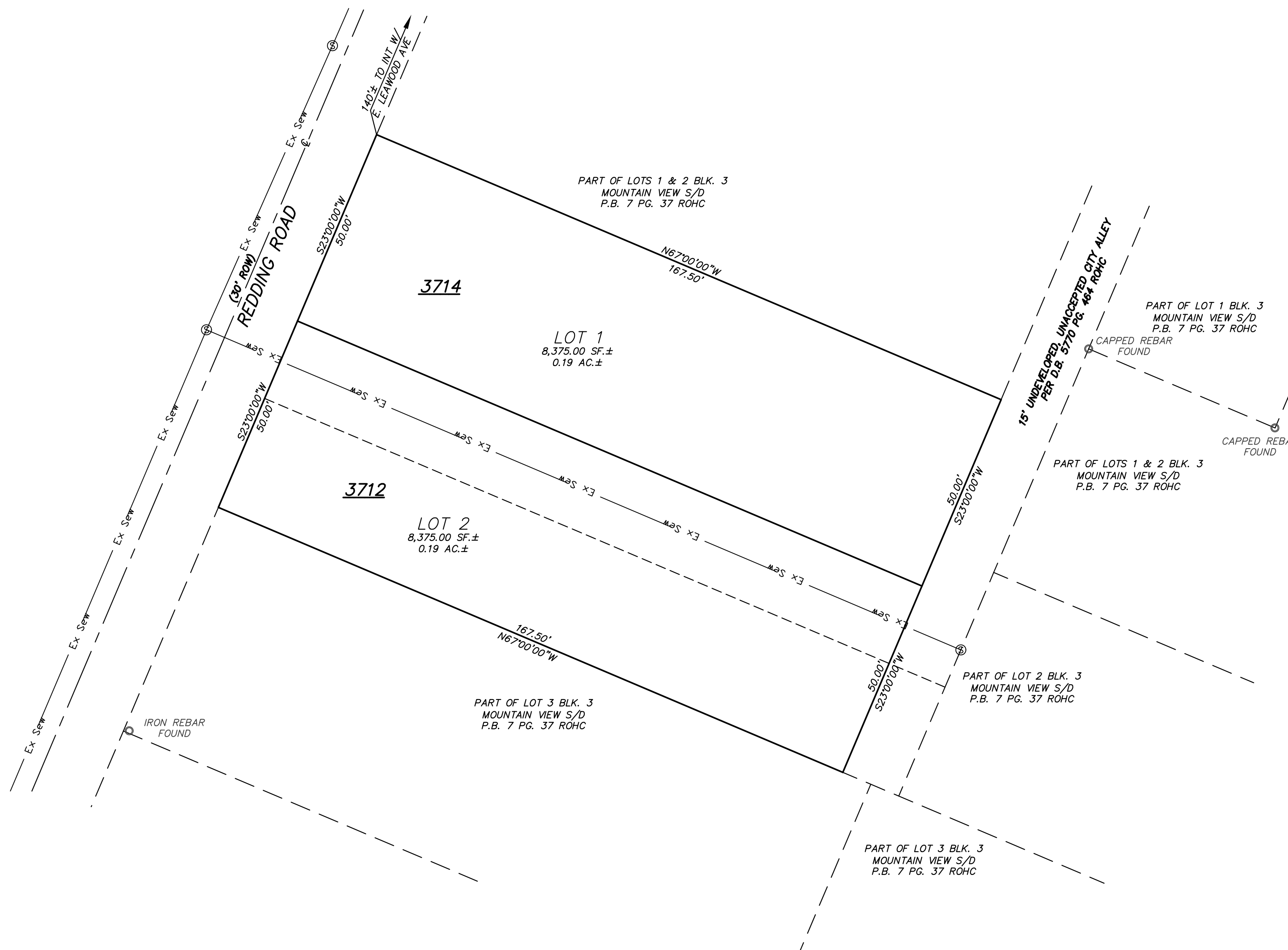
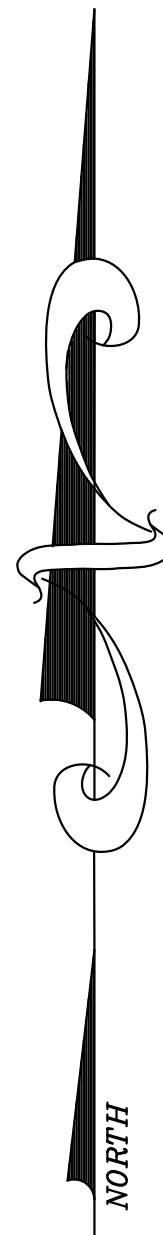
I hereby certify that I have surveyed the property shown hereon. That this is correct to the best of my knowledge and belief and that the ratio of precision of the unadjusted survey exceeds 1 per 10,000 as shown hereon. This is a Class "1" survey.

Copp Engineering Group  
1961 Northpoint Blvd., Suite 120  
Hixson, Tn. 37343  
423-847-9100 Office  
423-847-9185 Fax



APPROVED FOR RECORDING  
HAMILTON CNTY GEOSPATIAL TECHNOLOGY  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
HAMILTON COUNTY WMTA  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
HAMILTON COUNTY WATER QUALITY PROGRAM  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
JURISDICTIONAL AUTHORITY  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

VIC MAP  
N.T.S.



**GENERAL NOTES :**

1. Zoned : RZ-1
2. This plat subdivides D.B. 10024 Pg. 341 ROHC
3. This plat is developed in accordance to the design standards of the Red Bank Subdivision Regulations.
4. Area Subdivided : 0.38 Acres ±
5. Local Government does not certify that utilities or utility connections are available.
6. Tax Map # 118 A L 018
7. The Government of Red Bank is not responsible to construct or maintain drainage easements or gravel drives.
8. A 5' private drainage easement shall be reserved along the inside of all side & rear lot lines, except that a 10' private drainage easement shall be reserved along the lot lines that are the exterior boundary. These drainage easements are automatically abandoned if two or more lots are combined or used as one lot, or if no setback is required.
9. This property is not located in the 100 year flood boundary per F.E.M.A. FIRM Map #47065C0XXH dated November 28, 2025.
10. Public Sanitary Sewer are available by HCWWTA.
11. Source of water: TN American
12. There is a 10' Power & Communications Easement along all public roads.
13. No fill material is to be placed in a constructed drainage facility in such a manner as to impede storm water runoff flow unless approved by the City Engineer.
14. Drainage detention areas and facilities installed by the developer cannot be filled altered or changed in any way without permission from the City Engineer.
15. 5/8" Rebar & Cap set at all new property corners.
16. Purpose of Plat: Abandon and create new division lines for Lots as shown



FINAL PLAT

Redding Road S/D

Lots 1-2

LOCATED IN THE THIRD CIVIL DISTRICT  
CITY OF RED BANK, HAMILTON COUNTY TENNESSEE

Date : 03/16/2026	Drawn : DUSTIN
Scale : 1" = 20'	Checked : WAB
COPP ENGINEERING GROUP	
1961 Northpoint Blvd. Suite 120 Hixson, Tn. 37343 (423) 847-9100 Office (423) 847-9185 Fax	
Dwg. No. REDDING ROAD 3714-BODINE REDDING RD.dwg	

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.