

**MUNICIPAL PLANNING COMMISSION
REGULAR MEETING AGENDA**

October 23, 2024

6:00 pm

Red Bank Court Room

3117 Dayton Boulevard

I. CALL TO ORDER

II. ROLL CALL – Secretary

- ☐ Commissioner Browder
☐ Commissioner Cannon
☐ Commissioner Kelly

- ☐ Commissioner Millard
☐ Commissioner Skonberg

III. INVOCATION

IV. PLEDGE OF ALLEGIANCE

V. CONSIDERATION OF THE MINUTES

- a. September 25, 2024

VI. NEW BUSINESS

1. Request to rezone 619 Lullwater Rd. from R-1 Residential to R-T/Z Residential Townhouse/Zero Lot Line
 - a. Applicant Presentation
 - b. Staff Presentation
 - c. Public Comment
 - d. Discussion/Vote
2. Request for 2405 Lyndon Ave. special exceptions permit for assembly use
 - a. Applicant Presentation
 - b. Staff Presentation
 - c. Public Comment
 - d. Discussion/Vote
3. Request for 2405 Lyndon Ave. special exceptions permit for a watchman's residence
 - a. Applicant Presentation
 - b. Staff Presentation
 - c. Public Comment
 - d. Discussion/Vote
4. Design Review for 309 Morrison Springs Road
 - a. Applicant Presentation
 - b. Staff Presentation
 - c. Public Comment
 - d. Discussion/Vote

VII. UNFINISHED BUSINESS

VIII. OTHER BUSINESS

1. November/December meeting date discussions

IX. ADJOURNMENT

**MUNICIPAL PLANNING COMMISSION
REGULAR MEETING Minutes
September 25, 2024
6:00 pm
Red Bank Court Room
3117 Dayton Boulevard**

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II. ROLL CALL – Secretary

☐ Commissioner Browder

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VI. INVOCATION

VII. IV. PLEDGE OF ALLEGIANCE

VIII. CONSIDERATION OF THE MINUTES

- a. August 28, 2024 – Commissioner Cannon motioned to approve the minutes, Commissioner Kelly seconded, the motion carried unanimously

VI. NEW BUSINESS

- 5. Request to rezone 4105 Dayton Boulevard from R-3 Residential to C-1 Commercial

a. Applicant Presentation

John Kelly, applicant: property has been used as commercial, and the intent is to redevelop the property, and the starting point is this rezoning; Pratt had owned the entire adjacent multifamily property and then subdivided; Pratt may still manage the multifamily; a martial arts studio would like to rent part of the building; the second story is a ground level in the rear; Kelly manages other commercial properties and want to lease to renters who compliment the other businesses and other potential tenants; a dog groomer or an attorney, contractors, would be ideal; 840 SF would be the downstairs units; price point would be 1000 – 1200 per month; the owner will update the facades and leave the interiors for the tenants to make their own; there are 35 parking spaces total; Commissioner Browder asked that the dumpster be screened; Michael Pham, community planner, commented that the design review requires dumpsters that are visible from the public right of way are required to be screened; Commissioner Browder commented that dumpsters need to be screened regardless; John Kelly commented that the screened dumpster on the adjacent property is on an easement stated in the deed to allow the tenants at 4105 use of it.

b. Staff Presentation

Michael Pham, community planner, presented the staff recommendation to approve the rezoning based on the past use of the property, the similar uses adjacent to the property, and the location of the property in the central business district.

c. Public Comment - none

- d. Discussion/Vote

Commissioner Skonberg motioned to recommend approval to rezone, Commissioner Millard seconded, the motion carried unanimously

IX. UNFINISHED BUSINESS - none

X. VIII. OTHER BUSINESS

2. Small area study update

a. Michael Pham, community planner, recapped the small area study workshop that took place on September 21 at the former Red Bank Middle School; 98 participants signed in and turned in worksheets with concepts for their “dream park”; Commissioner Browder commented that recognition of the school should be incorporated into the site concept because of how many people went through the school and have memories of its development over time.

3. TDOT SR-8 resurfacing project update

a. Michael Pham, community planner, presented a draft concept for the TDOT SR-8 resurfacing project where the state route will be repaved and re-striped with input from the relevant municipalities—city of Red Bank and city of Chattanooga; the concept proposes a right sizing of the road and the inclusion of bike lane striping and would require Red Bank to perform some striping and traffic analysis that is pertinent to the project but outside of the resurfacing scope; Commissioner Kelly made comments about the danger of pedestrians and cyclists at this intersection and constant car accidents; Commissioner Cannon mentioned a concept for a dog bone roundabout he designed that TDOT had been supportive of sometime in the past, and reiterated the traffic calming effects of roundabouts; Commissioner Browder commented on the need to slow traffic down on this particular stretch of road; Commissioner Skonberg commented that it is a good start; Commissioner Kelly commented that this concept would not create a boom in multimodal users at the intersection, and that multimodal infrastructure should be built on Ashmore Avenue.; Commissioner Browder commented that south bound traffic on Dayton Blvd. needs to merge to the on-ramp soon after the intersection and that is always a concern; Commissioner Kelly commented that concepts like these are attempting to fit cyclists and pedestrians where cars are meant to be, which is different than physical structures preventing vehicles from travelling fast; Commissioner Cannon commented that at some peak hours the southbound traffic on Dayton can back up to Hedgewood Drive; Commissioner Kelly asked about an annual publication from the city that once mentioned a project to install a traffic signal at Ashmore Ave.; staff planner was unaware of the publication.

IX. ADJOURNMENT

Chairperson

To: Members of the Red Bank Planning Commission
From: Michael Pham, Community Development Planner

Date: October 23, 2024

Subject: Request to rezone 619 Lullwater Road from R-1 Residential to R-T/Z Residential
Townhouse/Zero Lot Line

Summary:

Property Address:	619 Lullwater Road	Property Owner:	Tim Bryant
Tax ID:	117N A 008	Applicant:	Tim Bryant
Deed Reference:	11902-0793	Current Zoning:	R-1
Flood Zone:	No	Requested Zoning:	R-T/Z
Current Land Use:	Residential	Surrounding Zoning:	R-1, R-T/Z
Surrounding Land Use:	Residential		
Staff Recommendation:	Approve		

Aerial Image(2022)



Red Bank, Tennessee

619 Lullwater Road
Rezoning R-1 to R-T/Z



Legend

C-1	L-1	R-2	R-TZ	RZ-1	parcel to be rezoned to C-1
C-2	M-1	R-3	R1-A		
C-3	R-1	R-4	RT-1		

0 100 200 400 US Feet



Map prepared by City of Red Bank Community Development Department

Date: 10/2/2024

This map is for planning purposes only

This is not an engineering map

Source: City of Red Bank GIS

Proposed Site Plan



Zoning Ordinance

R-T/Z zone: it is the intent of this section to provide regulations for the development of townhouses, single-family zero lot line dwellings (also called patio homes), and/or mixed-use moderate density residential development in a manner which is attractive, provides for efficient use of land and is compatible with surrounding development. It is further intended that these regulations provide for standards that will foster compatibility between R-T/Z development and lower density, standard single-family uses. It is also intended that R-T/Z development be sold in fee simple to encourage owner occupancy.

Analysis:

The property is approximately 2.82 acres and sits to the north of the B’Nai Zion Cemetery on Lullwater Road. A portion of the property has grade that exceeds 20%, and further development of these areas would fall under the requirements of the city’s steep slope ordinance. WWTa shows sewer infrastructure along Lullwater Road.

Compatibility with Surrounding Land Use:

The proposed rezoning is similar to the previously approved R-T/Z zones in R-1 and R-1A neighborhoods. Contingent on the R-T/Z zone approval the applicant intends to subdivide the existing property into four Lullwater fronting homes, and one flag lot driveway to the existing home. The proposed site plan shows four Lullwater fronting homes at 33’ x 52’. The proposed site plan meets the development standards for the R-T/Z zone and are shown to be like the R-T/Z developments immediately to the north of the property and would therefore be considered

compatible. The R-T/Z zone requires certain setback and landscaping requirements intended to mitigate adverse impacts on the existing surrounding R-1 uses.

Land Use Plan:

The Red Bank 2035 Plan articulates goals for residential development in Red Bank. Goals directly related to this proposal, listed below.

Goal	Action Items from Plan	Compatible with Goal?
A-GOAL: Stabilize residential community and increase property values by stopping the continued proliferation and reverse the negative impact of spot zones for inappropriately located duplexes and multi-family dwellings.	ACTION: Adopt new zoning regulations that enhance control over such uses and assure a public hearing process for all such development proposals ACTION: Adopt new zoning that downzones all inappropriate spot R-2 and R-3 zones to R-1 or R-1A	This project does not appear to proliferate negative impact spot zones due to nearby existing R-T/Z zones; the property was not part of the city-wide blanket rezonings after the adoption of the 2015 zoning ordinance.
C-GOAL: Attract residential developers back to Red Bank for new development and redevelopment	ACTION: New residential zones that provide more options and diversity of development while still protecting single-family neighborhoods. ACTION: Reduced minimum lot size standards and setback requirements to make Red Bank competitive with surrounding communities.	The R-T/Z zone encourages dwellings that provide diversity and compatibility to Red Bank neighborhoods; the proposed development conforms to this intent; the R-T/Z standards are more restrictive than R-1, and the proposed development meets them.
D-GOAL: Increase value of and protect single-family residential development	ACTION: New screening and landscaping regulations that is required of all multi-family, commercial, office and industrial development under certain conditions	The proposed development is not multi-family but adheres to the new screening and landscaping regulations referenced in this goal

Recommendation

Staff recommend approval of the rezoning based on the similar R-T/Z development nearby and the viability of the property to accommodate more homes developed similar to the surrounding neighborhood.

To: Members of the Red Bank Planning Commission
From: Michael Pham, Community Development Planner

Date: October 23, 2024

Subject: Request for a special exception permit(SEP) for an assembly use

Summary:

Property Address:	2405 Lyndon Ave.	Property Owner:	Crystal Cadieux
Tax ID:	117M D 002.01	Applicant:	Mitchell MacGregor
Deed Reference:	11647-0609	Current Zoning:	L-1
Flood Zone:	Floodway	Requested Zoning:	N/A
Current Land Use:	light manufacturing	Surrounding Zoning:	L-1, R-1
Surrounding Land Use:	light manufacturing, residential		
Staff Recommendation:	Approve		

Aerial Image(2022)



Red Bank, Tennessee

4205 Lyndon Avenue
Special Exception Permit



Legend

C-1	L-1	R-2	R-TZ	RZ-1	permit request location
C-2	M-1	R-3	R1-A		
C-3	R-1	R-4	RT-1		

0 50 100
US Feet



Map prepared by City of Red Bank Community Development Department

Date: 10/2/2024

This map is for planning purposes only

This is not an engineering map

Source: City of Red Bank GIS

Zoning Ordinance

L-1 Zone: bakeries, bottling works, building material yards and contractor's yards, cabinet making, millwork, and carpenter's shops, clothing manufacturers, dyeing and dry cleaning works, electric welding, machine, and tinsmith shops, feed storage establishments, ice plants, laundries, milk distributing stations, optical goods establishments, paper box and pencil manufacturing establishments, printing, publications, and engraving establishments, warehouses and trucking terminals, outdoor storage and display, self-storage facilities provided that any outdoor storage facilities which abut any residential zone shall be screened pursuant to the screening requirements listed in Chapter IX of the Zoning Ordinance,

Uses permitted with Special Exceptions Permit from the Red Bank City Commission upon recommendation by the Red Bank Planning Commission: fuel yards, a residence for a watchman and family, Adult Oriented Establishments.

Analysis:

The warehouses on Lyndon Avenue are zoned for L-1 Light Manufacturing. The existing uses along the warehouse "row" are private storage, health club, motorcycle repair, non-profit bicycle co-op, and office. Several units in the row are vacant. The proposed assembly use is for an office space, kitchen, and sitting area. Lyndon Ave. to the east is zoned R-1 Residential but shows single family and multi-family residential. Dayton Blvd. to the west is zoned C-1 Commercial and the existing uses in the warehouse row could be considered an extension of the commercial corridor.

A fire inspection was conducted, and the applicant was told to prepare to install a monitoring system for the fire sprinkler system. The applicant has obtained quotes to install the system and will proceed if the SEP is granted.

Compatibility with Surrounding Land Use:

The Red Bank Plan 2035 established new commercial zones along Dayton Blvd. in order to protect the quality and integrity of existing development, provide new opportunities to attract new businesses and reinvigorate the commercial center. The C-1 Convenience commercial zone can continue to serve the needs for a wider variety of goods and services along Dayton Boulevard. The proposed assembly use is similar to the other uses in the southern commercial corridor of Dayton Blvd. Offices, commercial establishments with kitchens and seating areas for gathering exist throughout the C-1 zone. The co-working use specifically is not known to be currently offered in Red Bank apart from the coffee shop seating available at The Meeting House; the location of such a use in the Lyndon warehouse would be a new use in the neighborhood.

Land Use Plan:

The Red Bank 2035 Plan articulates goals for residential development in Red Bank; goals directly related to this proposal, listed below.

Goal	Action Items from Plan	Compatible with Goal?
D-GOAL: Increase value of and protect single-family residential development	ACTION: Special Exception Permit process for all potentially incompatible or controversial uses so there would always be a public hearing required	The proposed use is not determined to be potentially incompatible or controversial inherently, but staff have recommended it be subject to the SEP process because the use is not explicitly permitted
F-GOAL: Assure that certain areas of Dayton Boulevard are protected from incompatible and less desirable commercial uses and encourage new and diverse commercial development for all commercial areas.	ACTION: Regulations providing for mixed-use development in commercial areas.	The proposed use is not determined to be incompatible or less desirable, but is considered new and diverse commercial development that could benefit the commercial area
G-GOAL: Improve the overall quality and appearance of multi-family, office, commercial and industrial uses.	ACTION: Mixed-use development opportunities for residential and commercial development.	The proposed use could be considered mixed-use because of the other permitted uses in the L-1 zone that could be implemented in the other areas of the unit; the allowance of the proposed use would be an opportunity for commercial development

Recommendation

Staff recommend approval of the special exception permit based on the existing assembly uses in the surrounding C-1 neighborhood and the Red Bank Plan 2035 goals to improve commercial and industrial uses, and encouragement of new and diverse commercial development.

To: Members of the Red Bank Planning Commission
From: Michael Pham, Community Development Planner

Date: October 23, 2024

Subject: Request for a special exception permit(SEP) to allow for a watchman's residence

Summary:

Property Address:	2405 Lyndon Ave.	Property Owner:	Crystal Cadieux
Tax ID:	117M D 002.01	Applicant:	Mitchell MacGregor
Deed Reference:	11647-0609	Current Zoning:	L-1
Flood Zone:	Floodway	Requested SEP:	watchman's residence
Current Land Use:	light manufacturing	Surrounding Zoning:	L-1, R-1
Surrounding Land Use:	light manufacturing, residential		
Staff Recommendation:	Approve		

Aerial Image(2022)



Red Bank, Tennessee

4205 Lyndon Avenue
Special Exception Permit



Legend

C-1	L-1	R-2	R-TZ	RZ-1	permit request location
C-2	M-1	R-3	R1-A		
C-3	R-1	R-4	RT-1		

0 50 100
US Feet



Map prepared by City of Red Bank Community Development Department

Date: 10/2/2024

This map is for planning purposes only

This is not an engineering map

Source: City of Red Bank GIS

Zoning Ordinance

L-1 Zone: bakeries, bottling works, building material yards and contractor's yards, cabinet making, millwork, and carpenter's shops, clothing manufacturers, dyeing and dry cleaning works, electric welding, machine, and tinsmith shops, feed storage establishments, ice plants, laundries, milk distributing stations, optical goods establishments, paper box and pencil manufacturing establishments, printing, publications, and engraving establishments, warehouses and trucking terminals, outdoor storage and display, self-storage facilities provided that any outdoor storage facilities which abut any residential zone shall be screened pursuant to the screening requirements listed in Chapter IX of the Zoning Ordinance,

Uses permitted with Special Exceptions Permit from the Red Bank City Commission upon recommendation by the Red Bank Planning Commission: fuel yards, a residence for a watchman and family, Adult Oriented Establishments.

Analysis:

The warehouses on Lyndon Avenue are the only parcels in Red Bank zoned for L-1 Light Manufacturing. The existing uses along the warehouse "row" are private storage, health club, motorcycle repair, non-profit bicycle co-op, and office. Several units in the row are vacant.

Compatibility with Surrounding Land Use:

The watchman's residence is not determined to have a negative impact on any surrounding uses.

Land Use Plan:

The Red Bank 2035 Plan does not specifically address watchman's residence.

Recommendation

Staff recommend approval of the special exception permit based on the explicit allowance of a watchman's residence in the L-1 zone should the SEP be granted.

To: Members of the Red Bank Planning Commission
From: Michael Pham, Community Development Planner
Date: October 23, 2024
Subject: Design Review for 309 Morrison Springs Road

Design Review Applicability

Unless exempt under section D. Exemptions below, the Red Bank Design Review Ordinance shall apply to all development in all present or future commercial zoning districts, and any other development on property abutting Dayton Boulevard within the corporate limits of the City of Red Bank. The intent of the Red Bank Design Review Standard is to:

1. Improve the overall quality of development in Red Bank,
2. Enhance pedestrian safety and walkability in the city's commercial corridor,
3. Ensure the compatibility of new and revitalized developments with surrounding land uses, and
4. Ensure that the design review process is accessible and easy to understand.

Planning Commission Review

The Commission must review all applications for:

- i. Projects on sites with more than 175 feet of frontage on Dayton Boulevard, Morrison Springs Road or Ashland Terrace,
- ii. Any applications referred by Staff that do not clearly meet the Design Review requirements.
- iii. Applications requesting variances modifications and exemptions explicitly mentioned in this ordinance can be granted by Planning Commission.

Requested Variances

- **Setback variance** being requested for the building to be setback approximately 80' from the right-of-way; the setback requirement for the building is a minimum of 7' and a maximum of 25'; please provide exact dimension of requested building setback

o Variance being requested due to existing WWTa infrastructure that incurs a physical challenge on the construction of a building with the required setback; the design review standards provide for deviations provided approval from the planning commission or city manager.

- **Parking lot location variance** being requested for the parking lot to be located in front of the building; the parking lot location requirement is to the rear of any building

o Variance being requested due to existing WWTa infrastructure that incurs a physical challenge on the construction of a building toward the front of the lot and forcing the parking lot to the rear of the building

- **Façade Transparency variance** being requested; transparency requirement for retail buildings is at least 30% of the façade area comprised of clear vision glass at the ground level

o Variance being requested due to security concerns of having significant percentage of glass façade

sica@studio323arch.com



CHATTANOOGA, TN

DRAWINGS



STORE

RED BANK, TENNESSEE

[illegible]

NOTES

1. ALL DIMENSIONS ARE FIELD MEASURED BY ARCHITECT FOR SITE DOCUMENTATION AND DESIGN. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION/ RENOVATION.

PROJECT NO: 2021-048

MODEL FILE:
Red Bank Liquor Store_v1.pln

DRAWN BY: JESSICA AUBERT

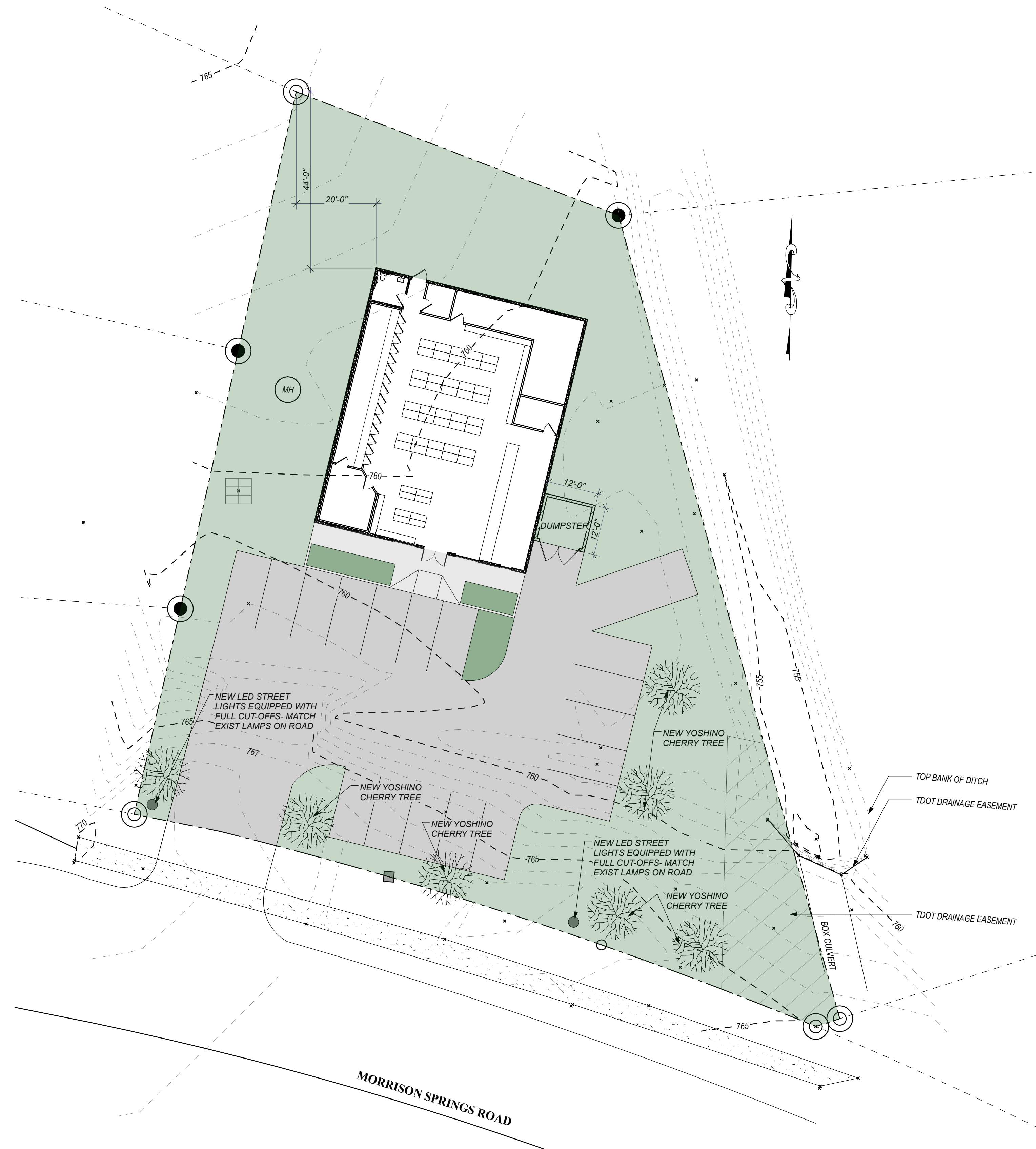
COPYRIGHT:

SHEET TITLE

Site Plan

1.1

SHEET 4



Site Plan
SCALE: 1/16" = 1'-0"



RED BANK, TENNESSEE

[illegible]

NOTES

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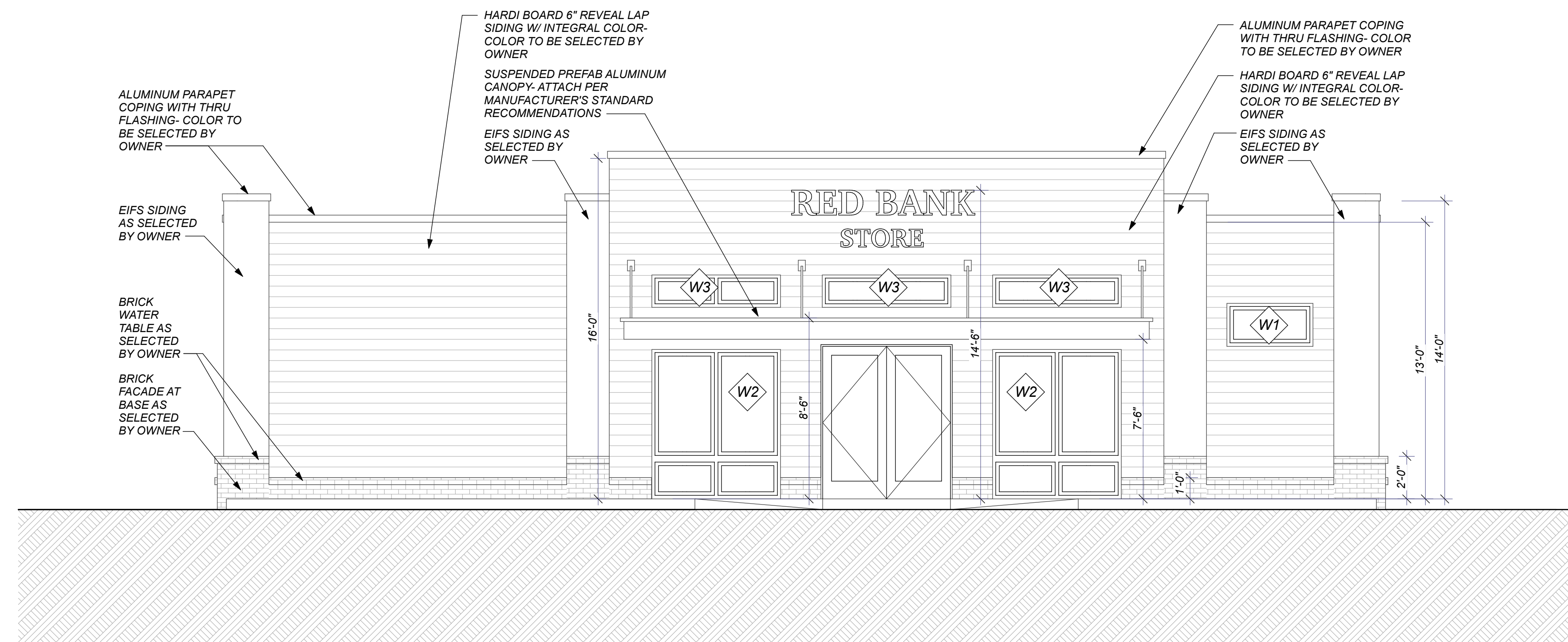
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SHEET TITLE

Exterior Elevations

A-2.1

SHEET 8

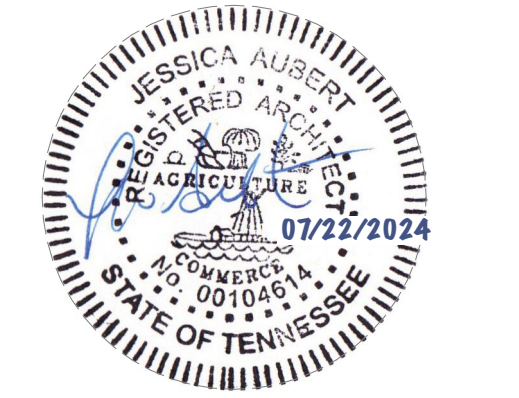


1 Front Elevation
SCALE: 1/4" = 1'-0"



2 Side Elevation
SCALE: 1/4" = 1'-0"

PERMIT DRAWINGS



RED BANK
STORE

RED BANK, TENNESSEE

[illegible]

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PROJECT NO: 2021-048

MODEL FILE:
Red Bank Liquor Store_v1.pln

DRAWN BY: JESSICA AUBERT

COPYRIGHT:

SHEET TITLE

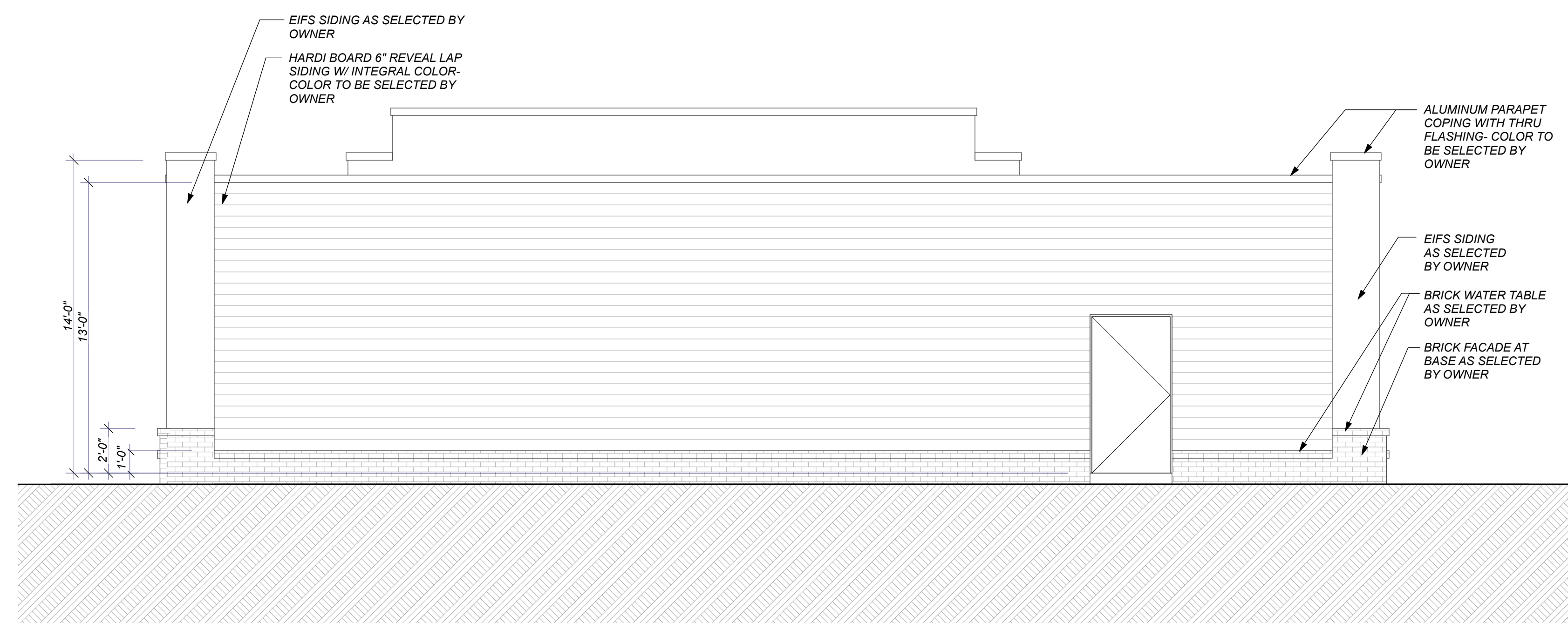
Exterior Elevations

A-2.2

SHEET 9



1 Side Elevation
SCALE: 1/4" = 1'-0"



2 Back Elevation
SCALE: 1/4" = 1'-0"



City of Red Bank
Municipal Planning Commission

DESIGN REVIEW STANDARDS CHECKLIST: 309 Morrison Springs Road

PEDESTRIAN ZONE

Description: This is the area between the Public Right-of-Way and the Building Zone. It includes the sidewalk, storefront area (where applicable) and tree plantings. It may also contain transit stops.

Element	Exceptions	Design Standard	Description	Y/N
Sidewalks	Existing sidewalks measuring at least 5-feet wide do not have to be altered in width.	Sidewalks must be installed and must be designed to meet current ADA Accessibility requirements.	N/A – sidewalk exists on Morrison Springs Road	N/A
	Deviations from the standards listed may be approved by the Planning Commission or City Manager or his/her designee if necessary for sites with steep slopes or other limiting physical characteristics, and for alternative designs that are judged to meet the intent of the Design Review Ordinance.	All intrusions, such as benches or landscaping, shall maintain a pedestrian lane measuring at least 5 feet wide	No intrusions shown	N/A
		Unless otherwise required or where larger plaza areas are provided, sidewalk dimensions and paving material shall be consistent with street frontage improvements of adjacent developments.	No additional sidewalks shown	N/A

PEDESTRIAN ZONE

Element	Exceptions	Design Standard	Description	Y/N
Street Trees	Frontage on streets other than Dayton Blvd., Ashland Terrace and Morrison Springs Drive are not required to have street trees. Where terrain, existing lighting or drainage facilities interfere, a variance may be requested.	Street Trees will be installed in front of all new development, if applicable, on Dayton Boulevard, Ashland Terrace and Morrison Springs Drive to the maximum extent practicable.	Yoshino Cherry Trees shown along Morrison Springs Road ROW	Y
		Street trees shall be planted along the right-of-way and Pedestrian Zone between the property lines at least every thirty- five (35) linear feet to the maximum extent practicable.	Yoshino Cherry Trees shown along Morrison Springs Road ROW	Y
		Street trees within the Pedestrian Zone may be located in tree pits with grates or in a continuous planting strip with other plant material.	Yoshino Cherry Trees shown along Morrison Springs Road ROW	N/A
		Street tree locations shall be coordinated with the street lighting and utility plans to minimize interference.	Yoshino Cherry Trees shown along Morrison Springs Road ROW; two LED street lights shown along MSR	Y
		Street trees planted along Dayton Boulevard, Ashland Terrace, and Morrison Springs should be Yoshino Cherry. All others shall be of a type and size prescribed in Chapter IX of the Red Bank Zoning Ordinance or approved by the Planning Commission or City Manager based on compatibility with the urban street system.	Yoshino Cherry Trees shown along Morrison Springs Road ROW	Y

PEDESTRIAN ZONE

Element	Exceptions	Design Standard	Description	Y/N
Lighting	Applicable only to new development. Existing lighting that is fully functional may be utilized.	Street lighting will be installed in front of all new development on Dayton Boulevard to the maximum extent practicable.	Two LED street lights with full cut-offs match existing lamps on road	Y
		Streetlights along or within the Pedestrian Zone shall be of the same design, type, spacing and mounting height and shall consist of lamp top post lighting matching the existing lamps.	Two LED street lights with full cut-offs match existing lamps on road	Y
		New lighting in the Pedestrian Zone shall be aligned with the street trees and parallel to the edge of the public right-of-way.	Two LED street lights with full cut-offs match existing lamps on road	Y
		Exterior lighting shall be equipped with full cut- offs to direct light downward and to minimize glare, shadows, night sky pollution, and excessive light levels.	Two LED street lights with full cut-offs match existing lamps on road	Y
Curb Cuts	Existing curb cuts that do not need to be consolidated, as determined by the City Manager, do not require plans to be submitted.	The consolidation of multiple existing curb cuts may be required by the City of Red Bank.	One street cut proposed; no consolidation of curb cuts proposed	Y
		Street cut permits are required with engineered stamped plans.	One street cut proposed; no street cut permit submitted as of 10/23/2024	N/A
Storefront Area	Storefront Area between the sidewalk and building is permitted but not required . When included in the plan, it must meet requirements.	The Storefront area shall include outdoor dining, public space with seating, and / or enhanced pedestrian entrances that connect buildings with the Pedestrian Zone.	No storefront area proposed	N/A

PEDESTRIAN ZONE

Element	Exceptions	Design Standard	Description	Y/N
	Exceptions to the maximum width requirement may be granted when existing buildings are utilized. The following are not permitted in the Storefront Area: a. Parking b. Chain link or slat fence c. Drive lanes d. HVAC equipment e. Dumpsters or similar containers	3. The Storefront Area shall be a maximum of eight (8) feet in width. Larger storefront areas may be approved by the Planning Commission or City Manager or his/her designee for renovations that are permitted to exceed the maximum building setback requirements in Chapter IV, Section B of the Design Review Ordinance.	No storefront area proposed	N/A

BUILDING ZONE

Description: The Building Zone is the location of the primary structure, and located between the Pedestrian Zone and the Parking Zone. Existing buildings and parking areas may remain in their existing location.

Element	Exceptions and Notes	Design Standard	Description	Y/N
Setback and Orientation	Exceptions to setback requirements in the Building Zone can be made under the following circumstances: a. Exceptions due to steep slopes or other challenging physical site characteristics b. A specific design due to the style or development type approved by the Planning Commission or City Manager that meets the intent, objectives and principles of the Design Review Ordinance. c. Exceptions approved by the Planning Commission or City Manager where the reuse of a preexisting building precludes the maximum setback. In these cases additional mitigating landscape area and planting could be required. d. Multi-family developments shall be exempt from setback standards listed in this Building Zone section. Front setback requirements in the Red Bank Zoning Ordinance may be increased or reduced by the Planning Commission or City Manager to meet the intent of the Design Review Ordinance.	New buildings must be setback minimum of seven (7) feet and a maximum of twenty-five (25) feet from the public right-of-way of any street.	Applicant requesting variance due to existing WWTa sewer infrastructure in setback	Var.
		New buildings must be setback zero (0) feet from the back of the sidewalk , unless a Storefront area with a maximum width of eight (8) feet is provided between the Sidewalk and the Building Zone.	Applicant requesting variance due to existing WWTa sewer infrastructure in setback	Var.
		For any building adjacent to a public street, a primary pedestrian entrance shall be provided that is easily visible from the public right-of-way. If the building has more than one side adjacent to a street, such as a corner-lot building, only one side of the building facing the street is required to have a pedestrian entrance.	Pedestrian entrance shown on site plan	Y

BUILDING ZONE

Element	Exceptions and Notes	Design Standard	Description	Y/N
Building Façade	Complete metal buildings must be approved by both the Planning Commission and Board of Commissioners. Building facades should be designed for compatibility with other adjacent structures located close to the street.	Facades visible from the public right-of-way shall include two or more of the following architectural features: a. awning, canopy or marquee, b. balconies, c. projecting cornices, d. recessed entrances or bays, e. arcades, f. wall mural, or g. Other architectural elements approved by the Planning Commission or City Manager.	A-2.3 shows: 1. aluminum canopy 2. extended parapet	Y
		No single approved material (excluding glass) shall exceed seventy (70%) percent of the exterior building wall(s) that is visible from a public right-of-way and shall be comprised from the following alternative materials: factory-primed fiber-cement lap siding, glass, brick, stone, hard coat stucco, pre-cast concrete, architectural metal panels, and faux stone, and other materials as approved.		Y
		Does not contain prohibited materials visible from public right-of-way: flat metal or corrugated tin or zinc coated siding, vinyl (or similar) siding, and unpainted/untreated concrete block. Commercial zones only.		Y

BUILDING ZONE

Element	Exceptions and Notes	Design Standard	Description	Y/N
Façade Transparency	Specific alternative designs may be approved by the Planning Commission or City Manager. Tinted or reflecting glass is discouraged.	Retail Buildings: façades facing the public right-of-way shall have at least thirty percent (30%) of the façade area comprised of clear vision glass at the ground level	Façade has less than 30% of the area comprised of clear vision glass	Var.
		Non-Retail Building: façades facing the public right-of-way shall have at least twenty percent (20%) of the façade area comprised of clear vision glass	N/A	N/A
Massing	Articulation not required for facades less than 30 feet or not visible from the right-of-way. Horizontal articulations in buildings, such as building step-backs or rooftop balconies, are encouraged.	Façades longer than thirty (30) feet and visible from public right-of-way shall be broken down into smaller units through the use of articulation. Articulation may include: a. offsets, b. recesses, c. staggered walls, d. stepped walls, e. pitched or stepped rooflines, f. overhangs, or g. other elements of the building's mass.	Sheet A-2.1 shows one overhang and no other articulations	PC discretion
		Building height shall be compatible with the height of neighboring buildings that are built close to the street.	Height compatible with neighboring buildings (16')	Y
Roof Expression	Multi-family developments are exempt from Roof Expression standards. Residential roof styles, including hipped and gabled roofs are discouraged. Active roofs with gardens and outdoor seating are permitted. Parapets should be extended and embellished.	Buildings should include extended parapets, projecting cornices, or similar features that define the top of the building and create a prominent edge when viewed against the sky.	Building shows extended parapets/faux pillars extending beyond roofline	Y
		Mechanical equipment located on roof tops shall be screened from the public right-of-way.	No mechanical equipment shown	Y

PARKING ZONE

Description: New or existing parking facilities. Parking requirements are stated in the Red Bank Zoning Ordinance section 14-496. Shared parking agreements between adjacent developments are encouraged as a method o meet these requirements.

Element	Exceptions and Notes	Design Standard	Description	Y/N
Parking Lot Location	Requirements for the parking lot location is only for new parking lots. Other locations of parking may be approved by staff or the Planning Commission based on the development style and use.	Located to the rear of any building with the exception of preexisting buildings. If new parking with 50 or more parking spaces cannot be accommodated to the rear of the building , parking on the side of the building may be permitted if screened from the public right-of-way.	Applicant requesting variance due to existing WWTa sewer infrastructure in setback	Var
		New parking lots for new construction shall not be located between a building and the street, unless otherwise approved.	Applicant requesting variance due to existing WWTa sewer infrastructure in setback	Var
Parking Lot Screening	Applies to new and existing parking lots Lots with fewer than 50 spaces are exempt from screening requirements	All new surface parking lots and existing parking lots having 50 or more parking spaces fronting the public right of way shall be screened parallel to the edge of the Pedestrian Zone.	Less than 50 spaces	N/A
		Screening shall have a minimum height of three (3) feet and a maximum height of six (6) feet above grade.	Less than 50 spaces	N/A
		Screening shall consist of: • a decorative masonry wall • landscaping • Or a combination of a decorative fence and landscaping	Less than 50 spaces	N/A
		Landscaping shall consist of evergreen plantings and/or green screens prescribed in Chapter IX of the Red Bank Zoning Ordinance or approved alternatives.	Less than 50 spaces	N/A

PARKING ZONE

Element	Exceptions and Notes	Design Standard	Description	Y/N
Parking Lot Landscaping	Applies to <u>all</u> commercial zones.	Minimum of one (1) tree for every twenty (20) spaces.	Less than 50 spaces	N/A
	Parking lots with fewer than 50 spaces are exempt.	Adjacent aisles shall be divided by landscaped islands that break parking areas into blocks to the extent possible.	Less than 50 spaces	N/A
		Parking lot landscaping should incorporate best management practices (BMPs) for storm water and other green infrastructure into the design are encouraged to reduce storm water runoff and pollution. Applicants should refer to the Hamilton County Water Quality Manual for guidance on appropriate storm water BMPs for their site.	Less than 50 spaces	N/A
Parking Lot Lighting	Existing lighting structures, fixtures and bulbs are exempt from these standards.	All New lighting fixtures and bulbs shall be LED, shielded if necessary, equipped with refractors, or placed indirectly to prevent stray upward light or direct light causing glare.	No parking lot lighting proposed	N/A
	Special interest and accent lightings are encouraged to be integrated with landscaping and streetscape features.	New pedestrian-scale lighting should be provided on the walkways, parking lots and open spaces consistent with the character of the development.	No parking lot lighting proposed	N/A
		Parking lot lighting shall be appropriate to create adequate visibility at night and evenly distributed to increase security. Parking lots must have a minimum illumination of 0.8 foot-candles at the ground level.	No parking lot lighting proposed	N/A
		New Parking lot lighting structures shall not exceed a height of twenty (20) feet.	No parking lot lighting proposed	N/A

PARKING ZONE

Element	Exceptions and Notes	Design Standard	Description	Y/N
Service Equipment Areas	Applies to <u>all</u> commercial zones.	Dumpsters, loading areas, mechanical equipment, outdoor storage areas, and other utilities readily visible from the public right-of-way shall be screened from public view to the maximum extent practicable. Screening shall consist of an opaque wall, fence, or other approved screening method.	Dumpster screening not shown	N
	Dumpsters shall be screened according to Screening Requirements found in the Red Bank Zoning Ordinance.			
	Chain link fences or slats of any material shall not be permitted.	The height of the screen shall be a minimum of six (6) feet, and of such height adequate to completely conceal a dumpster or equipment.	Dumpster screening not shown	N
		Screen wall and fence materials shall consist of masonry, stucco, stone, wood, or decorative architectural metal or other approved designs and materials.	Dumpster screening not shown	N
		Landscaping, including shrubs, trees, perennials, or green screens, shall be added to screening to soften the appearance of screening walls or fences.	Dumpster screening not shown	N

PARKING ZONE

Element	Exceptions and Notes	Design Standard	Description	Y/N
Fences, Walls and Screening	This section applies to <u>all</u> commercial zones. Chain link and slate fencing is not permitted to screen properties from the public right-of-way.	All new surface parking lots and existing parking lots that have 50 or more parking spaces that front the public right-of- way shall be screened from view.	Less than 50 spaces	N/A
		A wall, fence, or hedge that screens property from the public right-of-way should have a maximum height of 6 feet.	None shown	N/A
		Long stretches, over twenty (20) feet, of fencing or blank wall without intermittent elements such as posts or columns shall be avoided.	None shown	N/A
		Walls and fences should be compatible with the architectural style, materials and colors of the principal building.	None shown	N/A

SIGNAGE

Description: All signage, including those attached to the building and freestanding signs. All signs must conform to the Sign Ordinance, as enacted or subsequently amended.

NOTE: Approval of the development design does not constitute approval of the proposed signs. All applicants must apply for a sign permit.

Number of proposed building signs: 1

Number of proposed freestanding signs: 0

Proposed signs included in submitted plans? (Y/N) Y

Staff Notes:

Sign is proposed on the wall façade facing Morrison Springs Road. Full sign plans not provided and will need to be reviewed by the building inspector and codes enforcement as part of the sign permitting process.

NATURAL FEATURES

Description: Design standards and requirements that relate to trees, vegetation, terrain and waterways.

Element	Exceptions and Notes	Design Standard	Description	Y/N
Tree Survey / Plan	A tree survey is required when the development will disturb existing vegetation that includes trees larger than 6 inches in diameter.	On sites with existing mature trees, at least a third (33%) of specimen trees shall be preserved or transplanted on site, to the maximum extent practicable. For purposes of this section, "specimen" trees include the following: a. Deciduous trees with twenty inch (20") minimum diameter at breast height (DBH) b. Evergreen trees with twenty inch (20") minimum DBH; c. Groups or stands of seven (7) or more trees with a minimum DBH for each tree of six inches (6").	No tree survey attached; applicant proposes removal of all trees on the property	N/A
		Specimen trees in appropriate locations, such as along drainages and along the perimeter of the site may be used to fulfill landscaping or buffering requirements under the Design Review Ordinance.	See above	N/A
		Any existing vegetation or non-specimen trees that are in appropriate locations, in sufficient quantities, and of acceptable quality to be used to fulfill landscaping or screening requirements under the Red Bank Zoning Ordinance, shall be preserved to the maximum extent practicable.	See above	N/A
		Tree Protection during Construction: a. Specimen trees shall be protected during construction with the erection of barrier fencing. b. Specimen trees shall be identified during construction by red flagging or red paint c. Grading shall be avoided within the root area or drip line of any existing preserved trees.	See above	N/A

NATURAL FEATURES

Element	Exceptions and Notes	Design Standard	Description	Y/N
Tree Survey / Plan		Tree Replacement: If a specimen tree flagged for preservation is removed or substantially damaged during clearing, grading, or construction, the developer shall replace the removed or damaged tree with a new tree(s). Replacement trees shall be the same or similar species to the trees removed or damaged, or alternately a species native to Hamilton County and approved by the City. For every one inch (1") of tree caliper removed or damaged, the applicant or developer shall install one inch (1") of replacement tree caliper.	See above	N/A
Protection of Natural Features		Site plans shall show natural features, including stream corridors and wetlands, steep slopes, and existing trees.	Site plan shows slope and existing ditch; no tree survey	N/A
		Applicants shall show evidence of compliance with all applicable federal, state, and city laws and regulations related to preservation and protection of stream corridors and wetlands.		N/A
		Development should be avoided on steep slopes.		N/A
		Development within the floodplain should be avoided.		N/A
		Storm water runoff and pollution should be mitigated with the use of storm water management best practices. Applicants should refer to the Hamilton County Water Quality Manual for guidance on appropriate Storm water BMPs for their site.		N/A
		Storm water retention and detention ponds should be located so as to not be visible from the public right-of-way.	None shown	N/A
		Buildings, parking areas, and other structures should be set back from natural features a sufficient distance to ensure their continued quality and natural functions.		Y