

Hollie Berry
Mayor

City of Red Bank

Martin Granum
City Manager

MUNICIPAL PLANNING COMMISSION REGULAR MEETING AGENDA

September 25, 2024

6:00 pm

**Red Bank Court Room
3117 Dayton Boulevard**

I. CALL TO ORDER

II. ROLL CALL – Secretary

☐ Commissioner Browder

☐ Commissioner Millard

☐ Commissioner Cannon

☐ Commissioner Skonberg

☐ Commissioner Kelly

III. INVOCATION

IV. PLEDGE OF ALLEGIANCE

V. CONSIDERATION OF THE MINUTES

- a. August 28, 2024

VI. NEW BUSINESS

- 1. Request to rezone 4105 Dayton Boulevard from R-3 Residential to C-1 Commercial
 - a. Applicant Presentation
 - b. Staff Presentation
 - c. Public Comment
 - d. Discussion/Vote

VII. UNFINISHED BUSINESS

VIII. OTHER BUSINESS

- 1. TDOT SR-8 resurfacing project update

IX. ADJOURNMENT

**MUNICIPAL PLANNING COMMISSION
REGULAR MEETING MINUTES**

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III. INVOCATION

IV. PLEDGE OF ALLEGIANCE

V. CONSIDERATION OF THE MINUTES

- a. July 24, 2024 – Commissioner Skonberg motioned to approve the minutes; Commissioner Kelly seconded the motion; the motion carried unanimously

VI. NEW BUSINESS

- 1. Request to rezone 107 Cartwright Street from R1-A Residential to R-T/Z Residential Townhouse/Zero Lot Line
 - a. Applicant Presentation –
 - i. Gordon Hulkan(applicant) presented the request to rezone from R-1A to R-T/Z; 16'-18' driveways; 1200 SF units, 2-story; 300k-350k price; planning to shave the slope on Red Oak Drive for easier driveways; 2 bedrooms; duplexes all around the neighborhood inspired the idea for a multifamily project there; a turnaround driveway may be feasible to allow more parking spaces or to increase maneuverability;
 - b. Staff Presentation
 - c. Public Comment
 - i. Josh Brannum 712 Lancaster; from a local and national options for housing, this would be a positive impact; the price falls just below the median price for the area; it's a good use of infill development; where you have infrastructure in place, it's beneficial to build housing of this type;
 - d. Discussion/Vote
 - i. Commissioner Browder stated that the planning commission wants to support housing options, and the current zoning was designed to allow

these kinds of developments; Red Bank only has infill left, but we do try to be sensitive to surrounding existing housing;

- ii. Commissioner Cannon stated the development of denser housing impacts the stormwater and sewer system which has limited capacity;
- iii. Commissioner Skonberg made a motion to approve the rezoning with the condition that no more than three(3) dwelling units be built; the motion carried unanimously

VII. UNFINISHED BUSINESS

VIII. OTHER BUSINESS

- 1. Discussion regarding public notice for planning commission items
 - a. Michael Pham presented the new mailer notification for planning commission items to be sent to property owners within 200' of rezoning applications
- 2. Discussion regarding training for planning commissioners
 - a. The planning commissioners stated an interest in learning about state code as it related to planning commissions in order to fulfill the yearly training requirement for the planning commissioners; they also stated an interest in exploring the role of the planning commission in relation to the city commission and the long-range planning of Red Bank.

IX. ADJOURNMENT

To: Members of the Red Bank Planning Commission

From: Michael Pham, Community Development Planner

Date: September 25, 2024

Subject: Request to rezone 4105 Dayton Boulevard from R-3 Residential to C-1 Commercial

Summary:

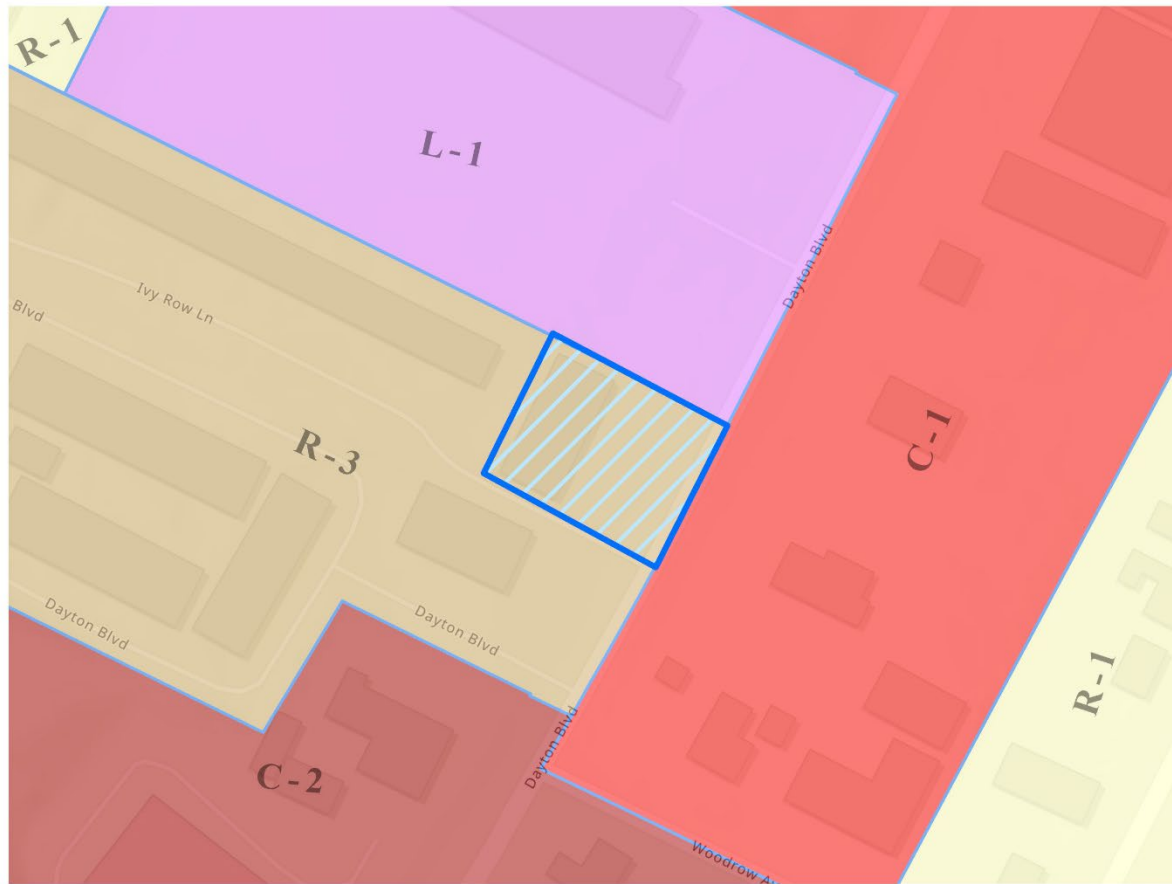
Property Address:	4105 Dayton Boulevard	Property Owner:	John Kelly
Tax ID:	109I D 022.01	Applicant:	John Kelly
Deed Reference:	13667 0141	Current Zoning:	R-3
Flood Zone:	Yes	Requested Zoning:	C-1
Current Land Use:	Commercial	Surrounding Zoning:	C-1, L-1, C-2, R-3
Surrounding Land Use:	Multi-family residential, commercial		
Staff Recommendation:	Approve		

Aerial Image(2022)



Red Bank, Tennessee

4105 Dayton Boulevard
Rezoning R-3 to C-1



Legend

C-1	L-1	R-2	R-TZ	RZ-1
C-2	M-1	R-3	R1-A	
C-3	R-1	R-4	RT-1	



parcel to be rezoned to C-1

0 100 200
US Feet



Map prepared by City of Red Bank Community Development Department

Date: 9/4/2024

This map is for planning purposes only

This is not an engineering map

Source: City of Red Bank GIS

Zoning Ordinance

It is the intent of the C-1 commercial zone to

- a) promote a diverse mix of retail and service uses to serve both area residents and customers traveling to and from other neighborhoods and places of employment;
- b) balance the need to accommodate automobile-oriented commerce with the need to promote more pedestrian-oriented development in the commercial corridor;
- c) minimize conflicts between uses in and around the district through landscape and buffering requirements;
- d) emphasize access control to manage traffic generated by general commercial uses;
- e) promote quality residential development that enhances the character of the commercial corridor; and
- f) ensure that new development meets the intent of the Red Bank Design Review Standards.

Analysis:

The property is approximately 16,000 square feet and is on the west side of Dayton Blvd. just north of Ashland Terrace. The property is obviously in the commercial corridor it may have been rezoned in 2016 with a large number of other properties in Red Bank to adjust to the, at the time, new zoning ordinance. At some point, the building was leased as commercial space but has been vacant in the recent past. The applicant is proposing a renovation to the existing structure in order to lease it as commercial space.

Compatibility with Surrounding Land Use:

The property exists along the Dayton commercial corridor, and on the edge of the central business district. The proposed use, commercial leasing, would be the same as most of the surrounding land uses. There is a multi-family flag lot adjacent to the property.

Land Use Plan:

The Red Bank 2035 Plan articulates goals for commercial development in Red Bank. One goal is directly related to this proposal, listed below.

Goal	Action Items from Plan	Compatible with Goal?
G-Goal: Improve the overall quality and appearance of multi-family, office, commercial and industrial uses	ACTION: New Design Review standards and process.	The proposed development will be required to go through the Design Review process.

Recommendation

Staff recommend approval of the rezoning based on the past use of the property, the similar uses adjacent to the property, and the location of the property in the central business district.



1

Front Perspective



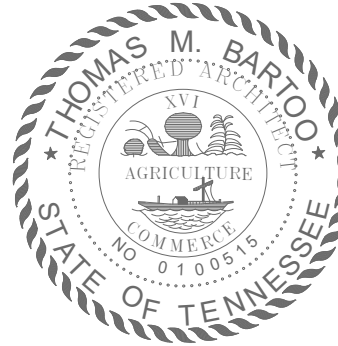
2

Rear Perspective



METHOD
ARCHITECTURE

2140 Rossville Ave.
Chattanooga TN 37408
423 757 9466 v 423 757 9496 f
www.method-architecture.com



Permit Set

4105 Dayton Blvd. Renovation

4105 Dayton Blvd. Red Bank TN,
37405

No.	Description	Date

PERSPECTIVES

Project Number	20121
Date	3-4-22
Drawn By	BWV
Checked By	TMB

A303

Scale



Project No.

4105 Dayton Blvd. Renovation

4105 Dayton Blvd. West Bank TN
37608

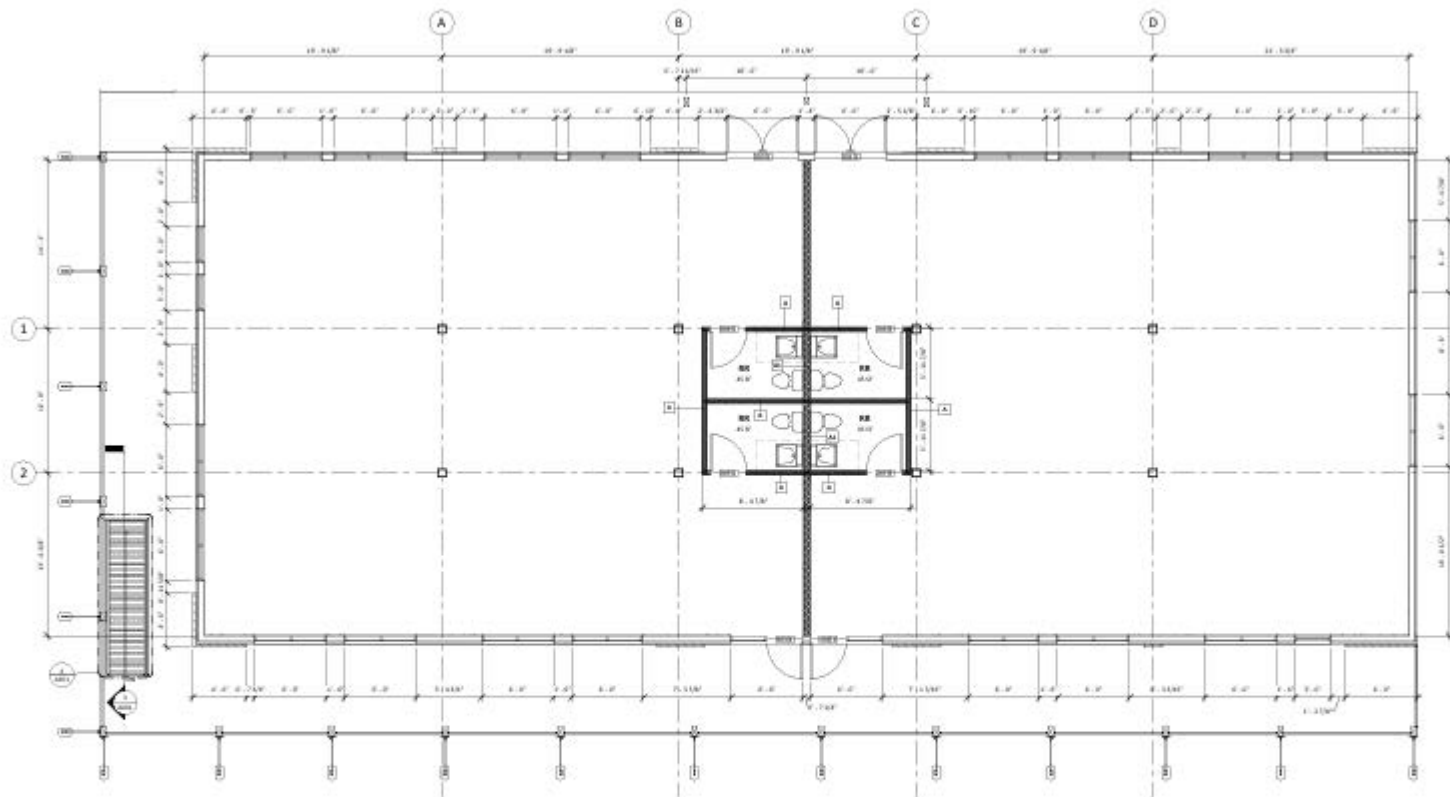
No.	Description	Date

FLOOR PLAN

Project Number	28123
Date	2-8-22
Drawn By	BAW
Checked By	TSB

A102

Scale 1/8" = 1'-0"



1 LEVEL 2
1/8" = 1'-0"



Project Set

4105 Dayton Blvd. Renovation

4105 Dayton Blvd. Nashville, TN
37208

Revision	Date

FLOOR PLAN

Project Number	20121
Date	3-8-22
Drawn By	RAV
Checked By	MB

A101

Scale: 1/8" = 1'-0"



Project 001



1 LEVEL 1
1/8" = 1'-0"